



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

February 24, 2025 • 5:30pm • 1111 Main Street



City of Conway

HISTORIC DISTRICT COMMISSION

February 24, 2025

MEMBERS

Corey Parks, Chairman
Joshua Hamilton, Vice-Chairman
Jenny Davis, Secretary
Liz Hamilton
Nathaniel Johnson Jr.
Marilyn Moix
Jason Covington

Call to Order.

Roll Call.

Approval of Minutes. January 27, 2025

I. Public Hearing Items - Old Conway Design Overlay District

A. New single-family residence at 346 Ash St (HDR-0125-0002) **Old Business**

B. New office building with associated parking at 1140 Harkrider St (HDR-0225-0016)

II. Additional Business

A. Additional items as decided by the Commission

Adjourn.

APPLICANT/AUTHORIZED AGENT

Gilbert Hernandez
HDZ Structures & Remodeling LLC
124 Rock Crusher Rd
Houston, AR 72070

OWNER

Same

**SITE DATA**

Address. 346 Ash St.

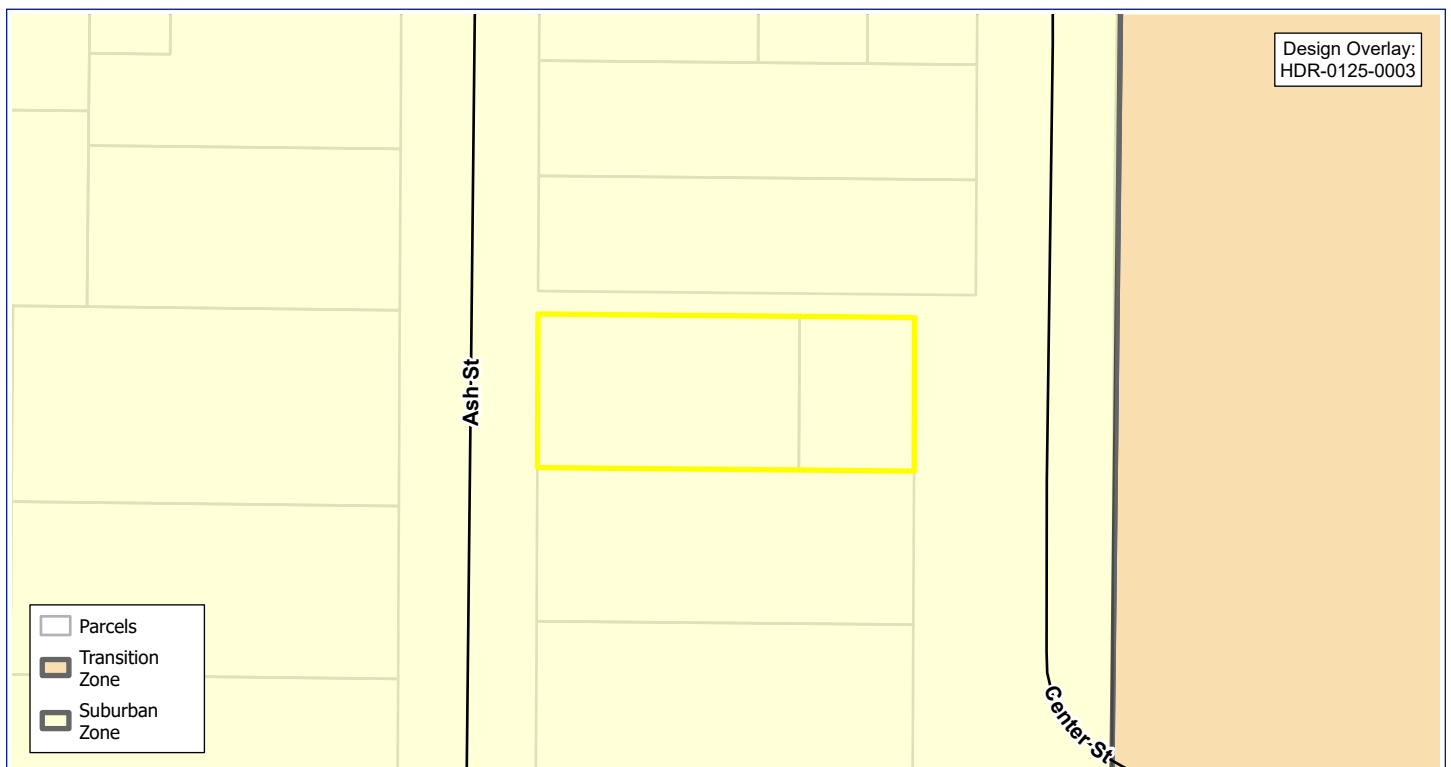
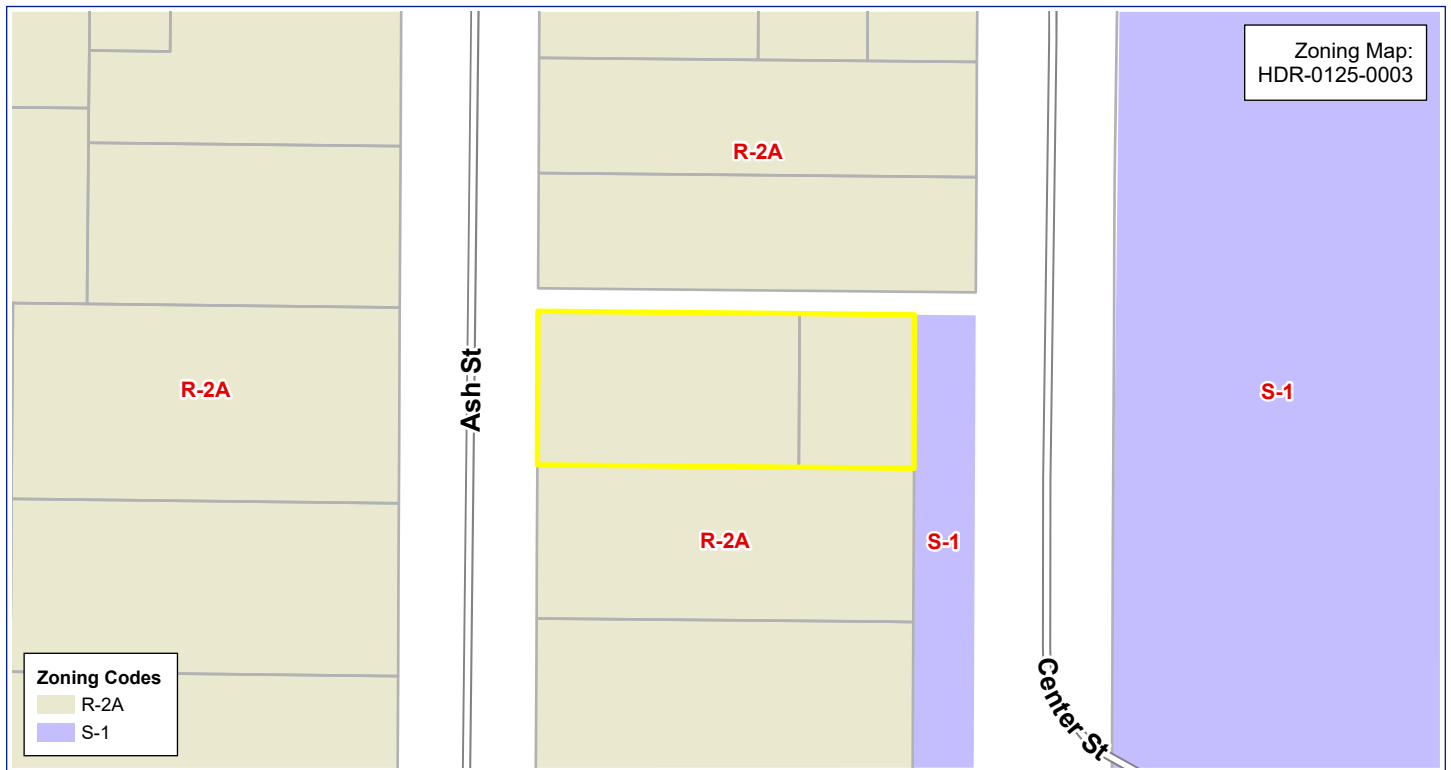
Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District (OCDOD-SUB).

Abutting Zoning. North/South/East/West: R-2A, OCDOD-SUB.

Lot Area. 0.17 acres \pm .

Surrounding Area Structures. The property is located in the OCDOD-SUB on the east side of Ash St on the block between Simms St and Bruce St. Area structures consist of a mix of single-family homes in Craftsman and minimal traditional styles.

General Description of Property and Proposed Development. The application is proposing to construct a new 2,634 sf single-family residence with front and rear porches and an attached garage. Also proposed is a concrete ribbon driveway and a walkway. This is an infill development on a vacant lot. The style of the proposed residence is minimal traditional.



Old Conway Design Overlay District

Setbacks and Spacing. Proposed structures should respect the predominant setbacks of area structures, especially the front setback.

Secondary Front: 8ft minimum.

Side 6ft minimum.

Rear: 5ft or 15ft from centerline of alleyway.

The predominant front setback is 25' from right-of-way. The applicant is proposing a setback of 49'. This is in excess of the average for the area. Right-of-way does not appear to have been dedicated yet. The front setback needs to be between 20 and 30 feet from right-of-way.

Northern side yard abuts a 10' alley. The proposed garage is 6' from the side yard which equates to 11' from the centerline. The eastern side yard setback conforms to 6'. The rear setback conforms.

Spacing. Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area.

The proposal conforms.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for this site is approximate 30%.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door for this structure faces the street in a similar fashion to other structures on the street.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The applicant is proposing an attached garage along the north side of the property. It is positioned towards the rear of the residence.

Alley. The use of alleyways is encouraged. These alleys could provide another access point for residences and allow parking at the rear of residential lots.

There is a 10' alley along the northern side of the parcel which extends to Center St. It does not appear to be in use, but records do not indicate it having ever been closed.

Driveway / Parking. Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.

The applicant has indicated a driveway off Ash St. near the northern property line. Concrete driveway strips are proposed. It appears to be about 10' wide and terminates at the attached garage.

Sidewalks. Sidewalks are required for new construction projects.

A 5' sidewalk with a 6'6" greenspace is required.

Tree preservation. Any trees over 8" in diameter or greater must be protected and preserved. Canopy or understory trees shall be required for each 30' of street frontage. No street tree shall be planted closer than 10 feet to a fire hydrant, utility pole, or streetlight. *It appears that significant trees may be removed for construction. Any tree removed must be replaced at a 1:1 ratio.*

MASSING

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure is about 1,000ft larger than other structures in the immediate vicinity. There is one other house on the block which is more than 1,000sf.

Old Conway Design Overlay District

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The proposal is for a single-story structure which is similar to other residences in the neighborhood. The width aligns with most homes on the same block and the proposed design respects the orientation and type of home found in the area.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprints will cover around 24% of the site which is similar to other structures on similarly sized lots in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structures will contain a level of detailing and form that is compatible with the patterns of the area.

Façade, wall area, rhythm. New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The rear elevation lacks windows at the location of the laundry room, master closet and one bedroom. This elevation faces an empty lot owned by Central Baptist University. The rear elevation of the proposed residence is visible from Center Street.

DESIGN ELEMENTS

Style. New design should respect the context of the area while expressing the contemporary nature of the structure.

The structure respects the context of the neighborhood.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation.

A front porch with a 8' depth is proposed and meets the requirements. Porches are simple and align with a minimal traditional style.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

Lighting is not indicated on submitted plans.

MATERIALS AND DETAILING

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartside type siding.

The applicant is proposing brick and Hardieboard siding.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

The proposal conforms.

Mechanical system screening. HVAC units should be located where they are not readily visible from the street. If visible, they should be screened with shrubbery or fencing.

No HVAC equipment is shown on the site plan.

CONDITIONS

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.

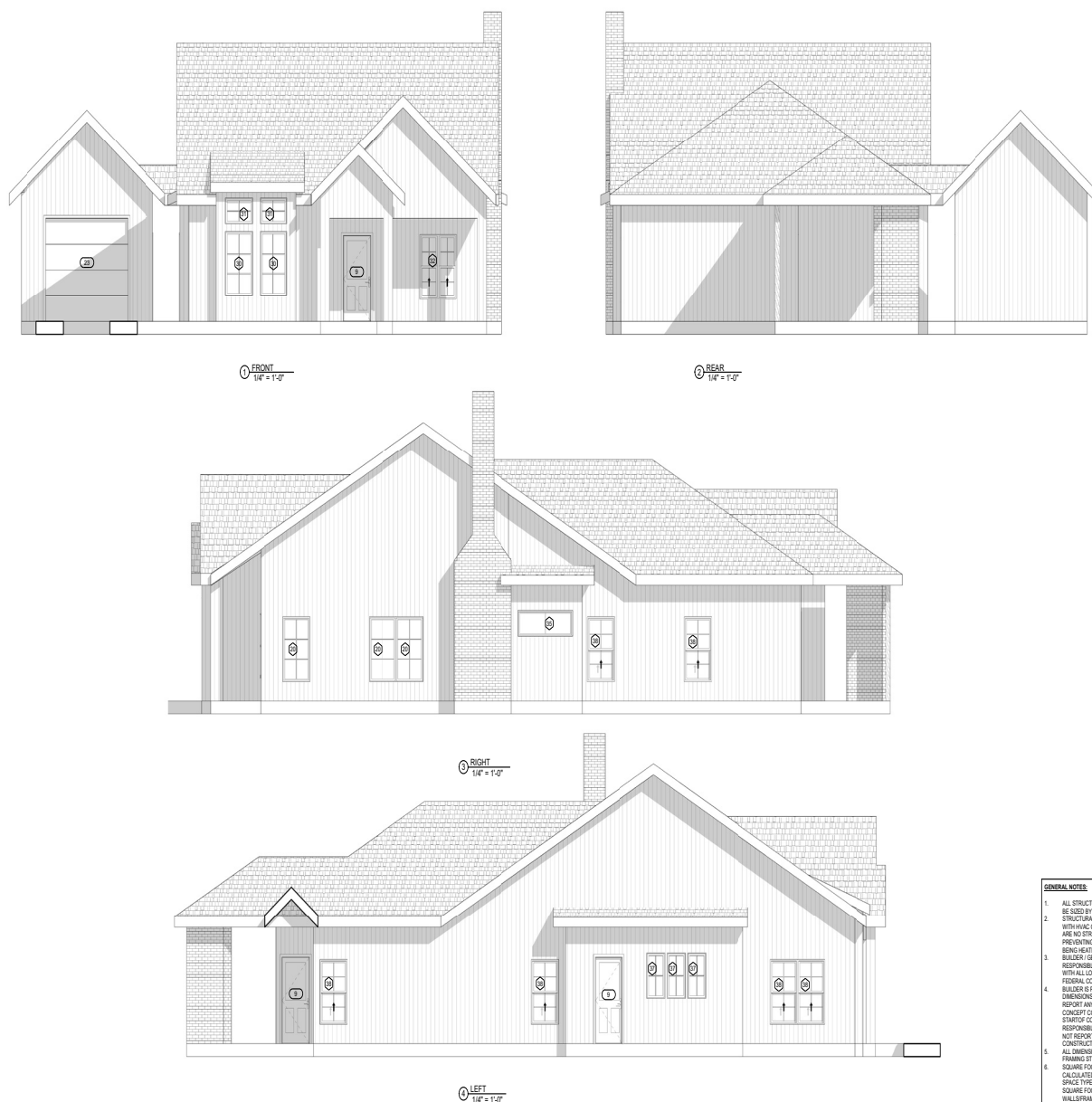
* Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.

2. There shall be one tree per every 30' of frontage (either retained or planted.) Any trees removed will need to be replanted at a 1:1 ratio. If beneath the power line it shall be an understory tree and if away from the power line it shall be a canopy tree.

3. Property shall be replanted prior to building permit issuance.

Old Conway Design Overlay District

4. Prior to issuance of a Certificate of Appropriateness, applicant shall submit for review by Planning & Development staff a site plan showing:
 - Appropriate front and side yard setbacks.
 - Lot coverage tabulation with driveway and internal sidewalks.
 - Tree removal, retention and plantings.
 - Sidewalks and greenspace in right-of-way.
5. Driveway shall be concrete, pavers, or permeable paving.
6. A 5' sidewalk with 6.5' greenspace is required.
7. Lighting shall be downward and inward toward the property.
8. HVAC equipment shall be screened from public view.



GENERAL NOTES	
1.	ALL STRUCTURAL FRAMING MEMBERS SHALL BE SIZED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER SHALL COORDINATE WITH HVAC CONTRACTOR TO ENSURE THERE ARE NO STRUCTURAL OBSTRUCTIONS PREVENTING THE PROPER ROOMS FROM BEING HEATED AND COOLED EFFICIENTLY.
2.	BLUENESS IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CLEAR CONCEPT CONSTRUCTION LLC PRIOR TO STARTING CONSTRUCTION. BLUENESS IS RESPONSIBLE FOR ALL ERRORS THAT ARE NOT REPORTED AFTER START OF CONSTRUCTION.
3.	ALL DIMENSIONS ARE DIMENSIONED TO THE FRAMING STUDS.
4.	SQUARE FOOTAGE CALCULATIONS ARE CALCULATED TO THE OUTSIDE EDGE OF THE SPACE TYPE AND DO NOT EXCLUDE ANY SQUARE FOOTAGE TAKEN UP FROM WALLS/FRAMING.

CLEAR CONCEPT
CONSTRUCTION LLC

346 Ash

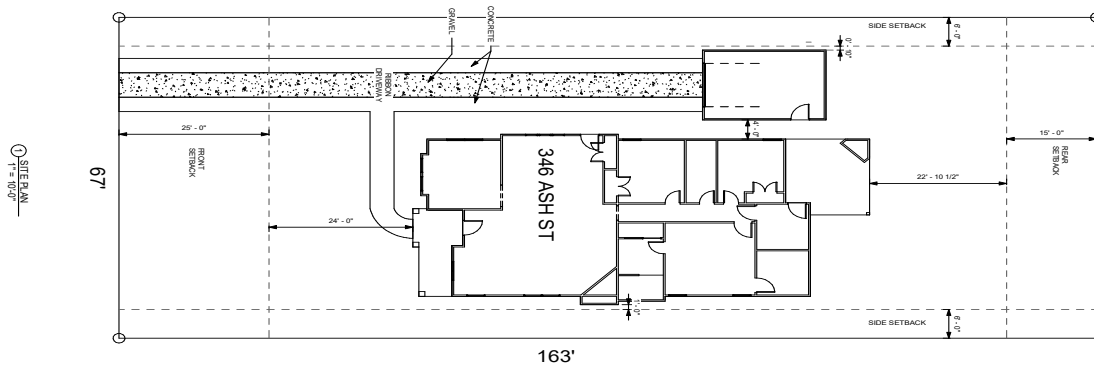
No.	Description	Date

ELEVATIONS

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A400

Scale: 1/4\" = 1'-0"



GENERAL NOTES:

1. SITE PLAN IS PRESENTATIVE OF BUILDING GENERAL LOCATION ON LOT AND DOES NOT REPRESENT THE ACTUAL LOCATION OF THE BUILDING.
2. COORDINATE WITH ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CLEARING LOT.
3. COORDINATE WITH CIVIL SURVEY FOR FINAL HOUSE LOCATION.

GENERAL NOTES

- 1 BE USED BY A STRUCTURAL ENGINEER.
- 2 STRUCTURAL ENGINEERS SHALL CONSULT WITH A HAZARDOUS WASTE CONTRACTOR TO DETERMINE THE LOCATION OF THE PROPOSED REMEDIATION AND THE PROPOSED REMEDIATION BEING PERFORMED BY THE CONTRACTOR.
- 3 BULKY HAZARDOUS WASTE CONTRACTORS WITH ALL LOCAL, CITY, COUNTY, STATE AND FEDERAL CODES.
- 4 BULKY HAZARDOUS WASTE CONTRACTORS SHALL REPORT ANY DISCREPANCY TO A CLERK PRIOR TO STARTING CONSTRUCTION. BUILDERS NOT REPORTED AFTER START OF CONSTRUCTION.
- 5 ALL DIMENSIONS ARE DIMENSIONED TO OTHER SOLAR FOOTING CALCULATIONS ARE CALCULATED TO THE OUTSIDE EDGE OF THE SLAB AND DO NOT INCLUDE ANY WALLS/FRAMING.
- 6 WALLS/FRAMING.

**CLEAR CONCEPT
CONSTRUCTION LLC**

346 Ash

[illegible]

SITE PLAN

Project number	Project Number	A100
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
	Scale 1" = 30'-0"	

12/20/2024 2:40:40 PM



View of subject property facing E



View of subject property facing W



Platted alley to the N



Adjacent property to the S



Property adjacent to the N



Sidewalk system across Ash St, W of subject property

APPLICANT/AUTHORIZED AGENT

Joanna Nabholz
H&N Architects
1190 Main Street
Conway, AR 72032

OWNER

Nabholz Real Estate Holdings LLC
P.O. Box 2090
Conway, AR 72033

**SITE DATA**

Address. 1140 Harkrider St.

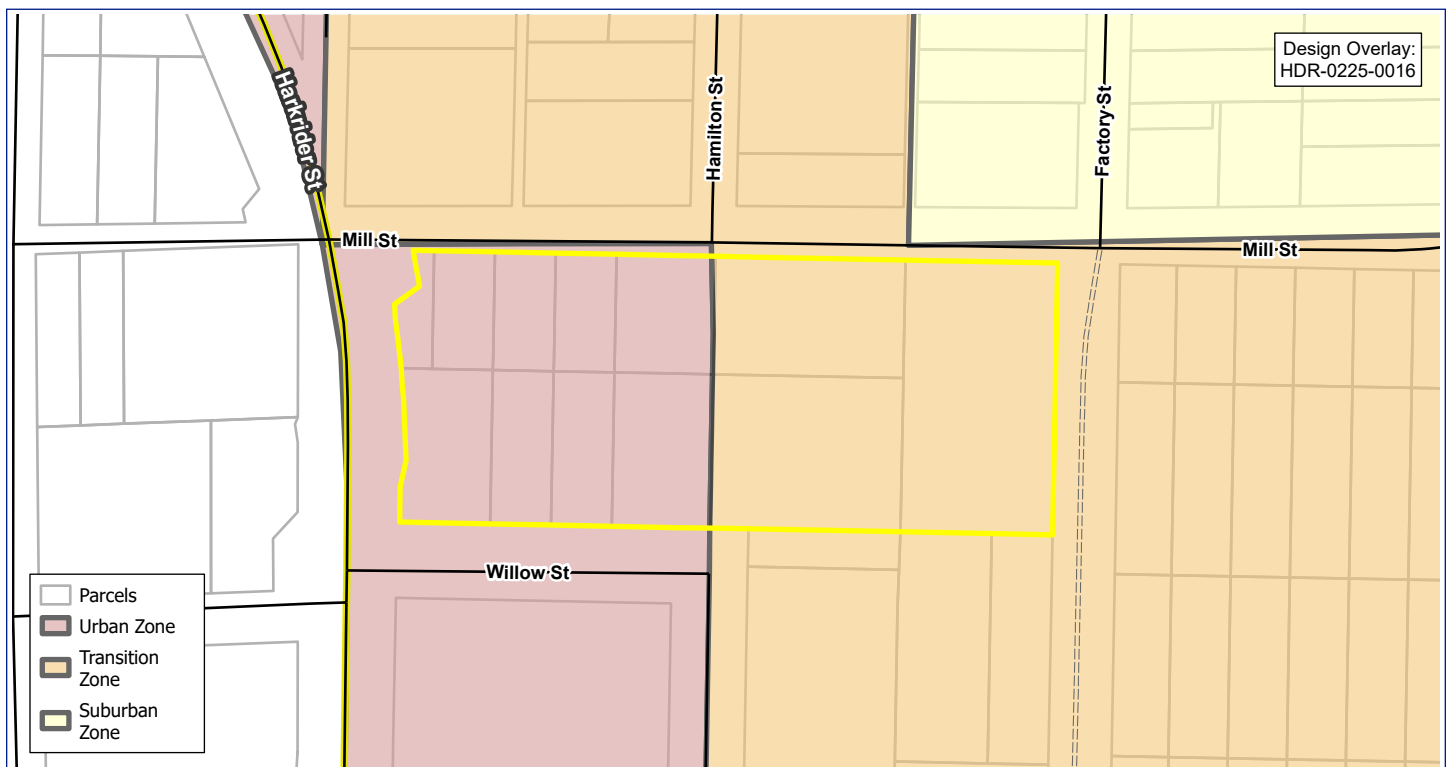
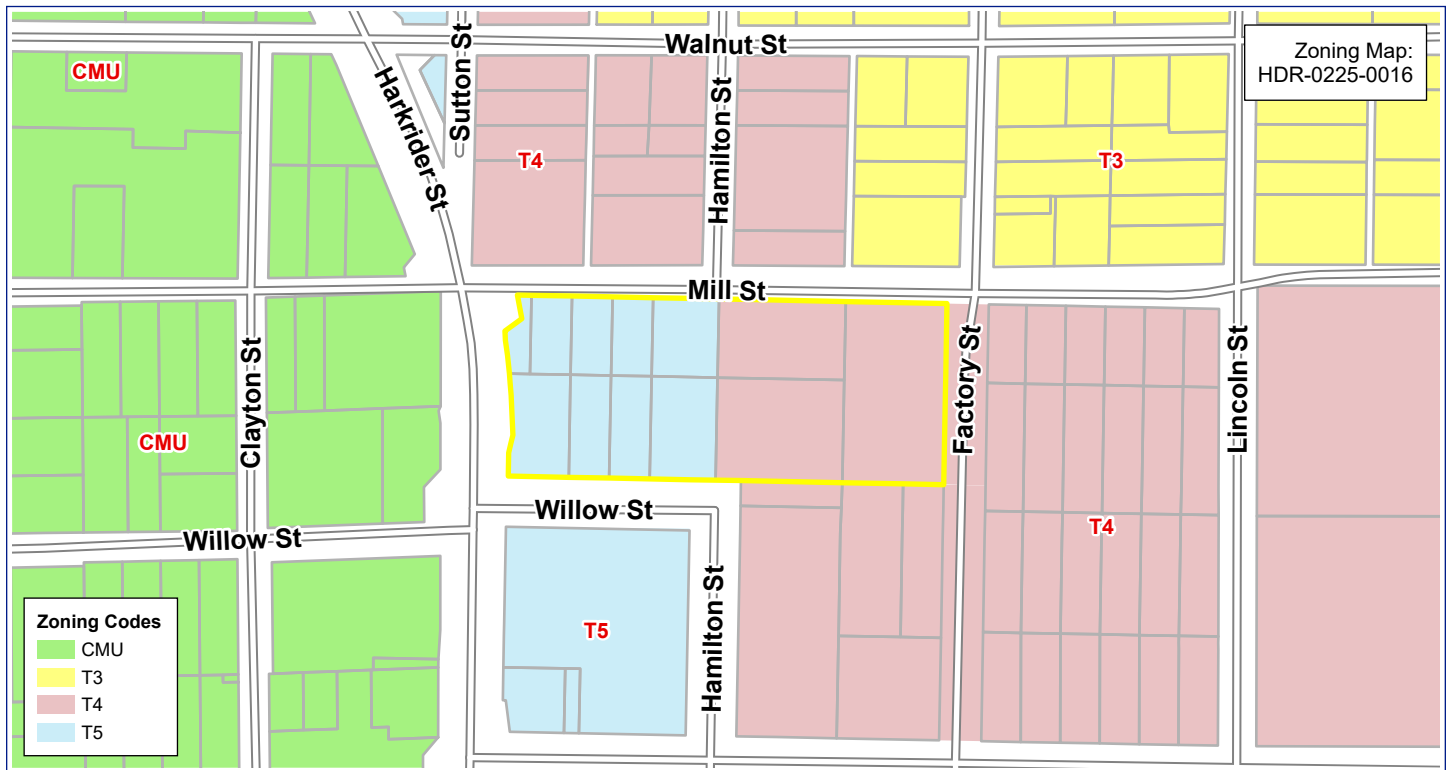
Lot Area. 5.01 acres.

Site Area. 3.19 acres.

Present Zoning. T5 (Urban) and T4 (Transition); Northeast Old Conway Area Specific Plan or NEOCA; Old Conway Design Overlay (OCDOD) Urban and Transition Zones (U & TR).

Abutting Zoning. North: T-4 & T-3 (Sub-Urban); East: T-4; South: T-4 & T-5, OCDOD TR & U; West: Harkrider St & Commercial Mixed Use (CMU), Markham Street Neighborhood Specific Plan (MSN-SP).

Surrounding Area Structures. The property is split between the Urban and Transition Zones of the OCDOD /NEOCA. It is on the East side of Harkrider St between Willow St and Mill St. Area structures in the Urban portion include pre-fabricated metal buildings, mobile food vendors, concrete masonry unit (CMU) structures and an abandoned Sonic restaurant. The Transition Zone consists of mid-century minimal traditional homes and a traditional brick church.



General Description of Property and Proposed Development. The site area is a multi-acre, multi-purpose campus used by Nabholz Construction. The proposed development consists of the demolition of four structures and construction of a new, two-story office building and associated parking. The development will front Harkrider St, Mill St and Willow St. The office building will be in the T5 Urban Zone and the parking will be in the T4 Transition Zone. This is Phase 1 of a multi-phase project. Any development requiring a building permit and changing the exterior will need to undergo Historic District Review, except where size exceptions apply.

The project also includes platting and Site Development Review (SDR), reviewed separately by Planning Staff.

SITE & DENSITY

Setbacks and Spacing. In the T5 Urban Zone, 80% of the principal building shall be within 3ft of all property lines per NEOCA standards.

The site plan is showing a 20' front yard setback, a 12'4" setback to Mill St along one plane, and does not specify the setback along the entire Mill St elevation. The Willow St elevation shows a 5' setback. Setbacks do not conform. This phase of the project is currently in a minor subdivision review. Right-of-way and property lines are uncertain. Through the plat review process, any issues should be reconciled. The applicant has shown greater than required setbacks to account for any movement of property lines. An updated site plan will need to be submitted for staff review once the plat has been filed.

Building Height. Buildings may not exceed six stories with stories being measured as 14 feet in height (excluding the first floor, which must be a minimum of 15 feet in height). OCDOD standards stipulate that buildings shall have a front façade which is no fewer than two stories in height and no greater than six.

The proposed max height to the parapet is 36' and the first level is 15'. The proposal conforms.

Lot Coverage. The maximum allowable lot coverage for the T5 Urban Zone shall be 100%. The maximum allowable lot coverage for the T4 Transition Zone shall be 80%.

Total lot coverage is 63%.

SITE & SERVICE

Fences, Railings, & Walls. Urban standards state that fences, railings, and walls shall be constructed of metal, brick, or stone. Plastic, chain link, and wood are prohibited. Fences and railing shall be a minimum of 70% open. The Transition Zone does not have standards specific to fencing. The vinyl fence is in the Transition Zone. Suburban fence standards state that materials should be composed of wood, iron, brick or stone. A composite, wood like material may be used. It is the charge of the Conway Historic District Commission to determine where and how criteria from the Urban and/or Suburban zones shall apply within the Urban Transition Zone, basing their determination upon individual project dynamics, location, and desired neighborhood character.

A 6' tall steel fence with brick columns is proposed along Willow St. A 6' tall vinyl privacy fence and gate with brick columns is proposed along Hamilton St. The existing 6' tall vinyl privacy fence along Mill St is proposed to remain (along the parking area). Steel and brick meet the Urban Zone standards. The vinyl fence is not in conformance with standards in the Urban or Suburban Zones. It is not proposed to be 70% open. The applicant has expressed that its existence is for security purposes as the site contains construction equipment. Should the HDC approve the fence as currently proposed, it is recommended that any visual impact be mitigated through landscaping.

Vehicular Access Points. Alleys, where they exist should be counted as curb cuts and considered the primary vehicular access point for the block. On blocks without alleys, access points should be minimized to no more than one per block and be located as close to mid-block as possible. Curb cuts in the Urban Zone shall be no wider than 20'. Curb cuts in the Urban Transition Zone shall be no greater than 24' in width; however, for projects along quieter, neighborhood streets, 20' is encouraged.

A 24' wide driveway is proposed along Willow St and the width of the curb cut not specified. All other entrances are along a private driveway. No access is proposed off of Harkrider.

Off-Street Parking. In the Urban zone, surface parking lots at block corners shall not be permitted. Parking standards are not specified for the Transition Zone. NEOCA parking standards defer to the City's General Zoning Code. Minimum number of parking spots for a 47,772sf structure according to the General Zoning Code is 133 spaces and the maximum is 200 spaces.

Off street parking is currently provided behind the vinyl fencing. The applicant proposes modifying the existing parking/storage area to provide more uniformity in spaces. 191 spaces are shown on the site plan.

Old Conway Design Overlay District

Landscaping & Paving. Recessed entries shall be paved with terrazzo, concrete pavers, concrete, stone, brick, tile or another high-quality hardscape material; asphalt and loose paving such as gravel are prohibited. Any proposed landscaping shall not block pedestrian access to storefronts or building entrances. Other landscaping provisions are governed by Article X of the Zoning Code. *No courtyards or recessed entries are proposed. Trees are proposed along street frontages and in parking islands. More trees and islands will need to be included to meet Article X standards. Landscaping may be considered between the vinyl fencing and Mill, rather than being proposed internal to the site. Landscaping requirements will also be reviewed during SDR.*

Dumpster. Trash dumpsters shall be screened by use of a gate and structure which complements the design of the primary building through the use of similar materials, colors, finishes, and architectural details. Dumpster enclosures shall be constructed of masonry materials and be in conformance with sanitation department standards.

The dumpster enclosure is adjacent to Mill St near the "Factory Street" drive (the Factory St right of way is closed within the Nabholz campus.) Dumpster specifications were not provided but will need to meet standards. Review of dumpster enclosure may be deferred to SDR.

Utilities & Equipment. Mechanical and utility equipment [exclusive of fire hydrants], while essential, are unattractive and from the pedestrian environment. They should be located out of view from the public realm such as at the rear of the structure, screened by a gate or landscaping if along frontage, or behind a parapet or other architectural feature if roof-mounted.

Utility equipment is not detailed on the submitted plans but will need to conform.

ARCHITECTURE

Facade Articulation & Ground-Level Facade Detail. A minimum of 35% of each upper story shall be windows. Facades shall be broken down into 20-30' "modules" or "bays" to prevent a monolithic edge to the street. Large, unarticulated walls are discouraged and shall have either a window or a functional public access at least every 10'. Building corners which face an intersection are should strive for a high level of articulation; unique corner treatments are strongly encouraged. A minimum of 2/3 of the first story shall be windows. First story windows shall be 3' above ground level of each upper story shall be windows.

The proposal meets all of the above standards except that the first story windows are not 3' above the ground level.

Building Materials. Urban Zone buildings are encouraged to include a large amount of transparent glass. 85% of first-story glass shall be transparent; the remaining 15% may be frosted or stained. Building materials (other than glass) shall include brick, stone, concrete, architectural metals (on no more than 20% of any facade), stucco/plaster, and wood trim. Prohibited materials shall include wood siding, pressed wood siding, composite siding, vinyl siding, and basic sheet metal sheathing. Exterior insulated finishing systems (EIFS) are discouraged and shall only be applied in upper story areas or areas not susceptible to impact damage. Materials covering the original architectural features of historic or significant buildings are strongly discouraged.

The material breakdown percentage was not provided, but the proposal appears to conform. Materials include brick, windows, pre-finished horizontal metal panels, aluminum composite material, and stone veneer. The applicant should provide a material breakdown percentage to confirm compliance.

Building Entries. The primary pedestrian entry to each building shall be along the street frontage or along each or at the corner if the building is at an intersection. Recessed entries are encouraged.

The proposal conforms with architecturally distinct entries on Harkrider St, Willow St, and internal to the campus.

Overhead Cover. Overhead cover is generally encouraged along and above all sidewalks within the Urban Zone.

Overhead covers composed of ACM are shown on the internal elevation and the Willow St entrance. One may be shown on the Harkrider St elevation, but it is not called out.

Exterior Building & Accent Lighting. All projects should provide appropriate levels of building mounted lighting on the facade; it helps light the sidewalk and improve safety and security within the public realm.

Lighting is not shown on submitted plans. Lighting will need to conform to Article X standards and will be reviewed during the SDR process.

STREETSCAPE

Sidewalks. Sidewalks shall be provided along all street frontages located within the public right-of-way (ROW).

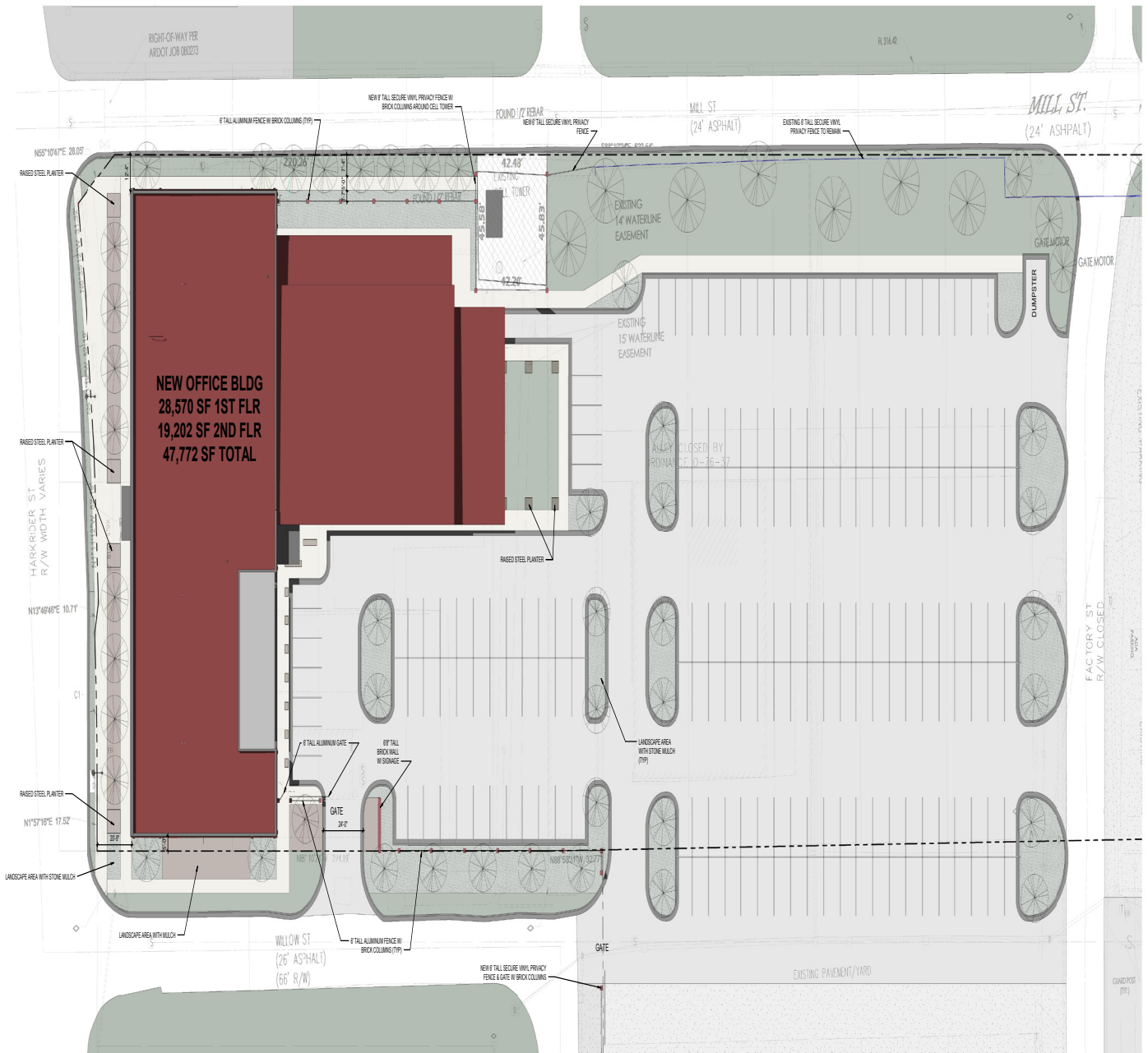
There is an existing sidewalk along Harkrider St and portions of the Willow St frontage are paved. There is no sidewalk along Mill St and the current structures (to be demolished) are located in ROW. A proposed sidewalk is shown outside of ROW along portions of Mill St and in ROW along a portion of Willow St. The sidewalk proposal terminates at the cell tower on Mill St. The sidewalk should extend outside of ROW along Mill St and on Willow St. Standard details call for a 10' wide sidewalk with 7.5' of greenspace on Harkrider and a 5' sidewalk with 6.5' of greenspace along Mill St and Willow St. Sidewalks location and configuration will be reviewed on plat and construction enforced during SDR and building permit issuance/final.

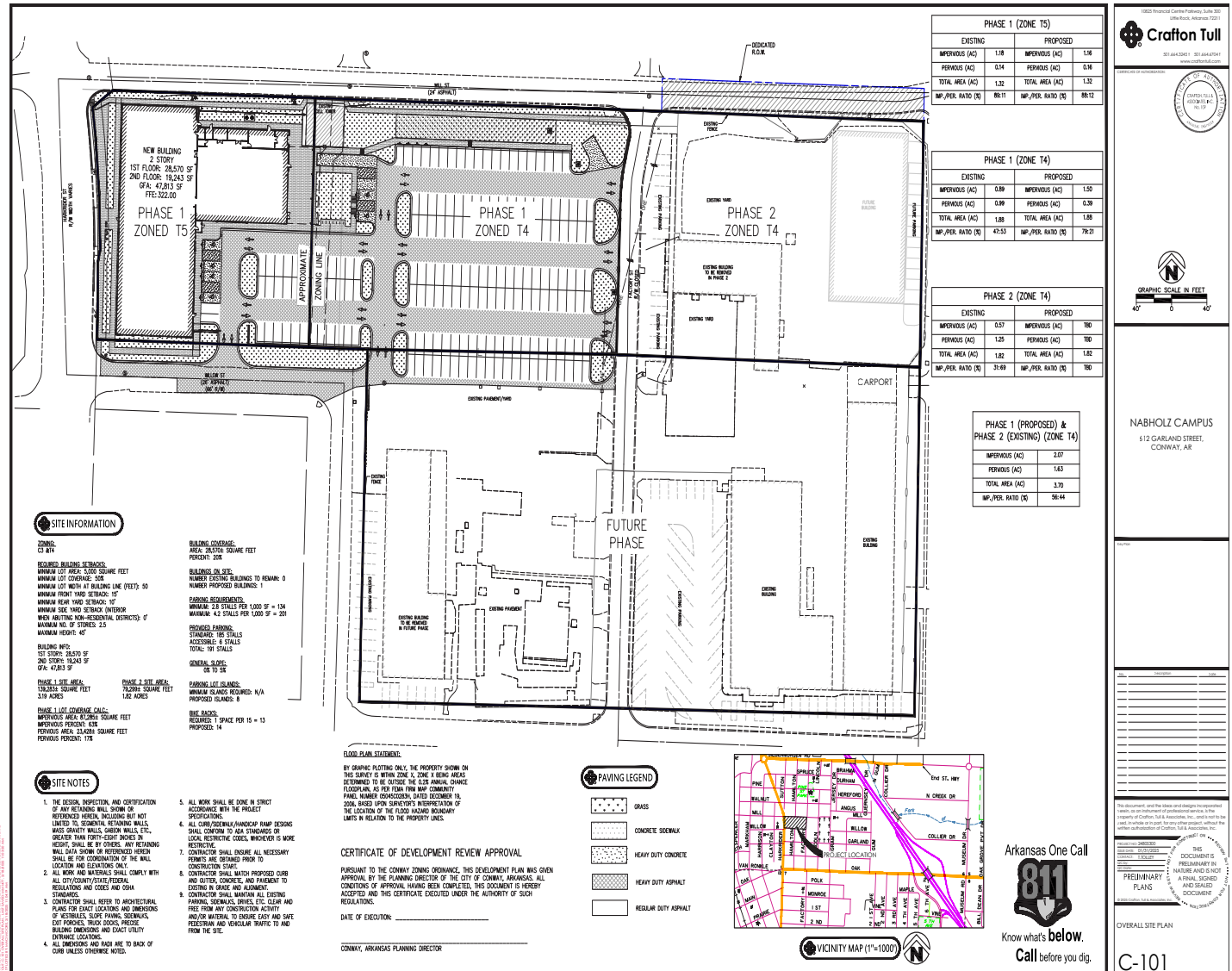
Signage. All signage should be considered integral to site and structure design and should complement the design character. All signage shall adhere to the guidelines and regulations detailed in the Sign Code.

Signage is proposed on the Willow St and Harkrider St elevations.

CONDITIONS

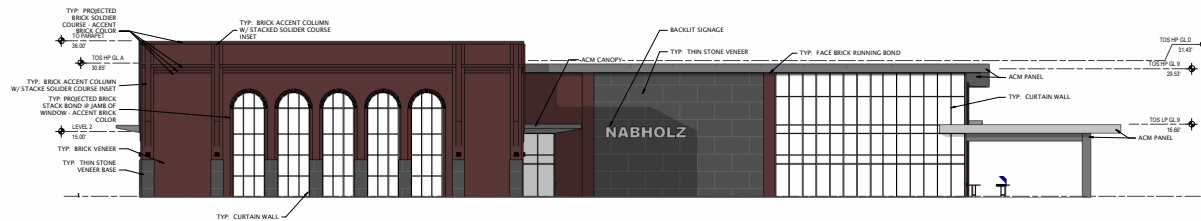
1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. Development shall undergo Site Development Review (SDR) in accordance with Article X.
3. The property shall be re-platted prior to the Director of Planning & Development stamping the SDR plans.
4. Sidewalks shall be constructed in right-of-way in accordance with Department of Transportation Standard Details.
5. Landscaping requirements will be reviewed as part of SDR. Additional landscaping may be required within the parking lot and along the site perimeter.
6. Fencing shall be removed from right-of-way. Landscaping shall be provided between the Mill St fence and the street.
7. Prior to issuance of Certificate of Appropriateness, applicant shall submit for review by planning staff a site plan and elevations showing:
 - Structures built to appropriate setbacks.
 - Sidewalks and greenspace as described in #4.
 - Landscaping to the north of the fence along Mill St.
 - Material percentage breakdown to ensure compliance with standards.
8. All signage shall comply with OCDOD guidelines and regulations detailed in the Conway Sign Code. All signage is permitted separately from all review and building permit processes.
9. Some level of exterior building/accent lighting should be provided; this element will be reviewed as part of SDR.
10. HVAC equipment be placed in a manner to minimize its visibility from the street and screened adequately.



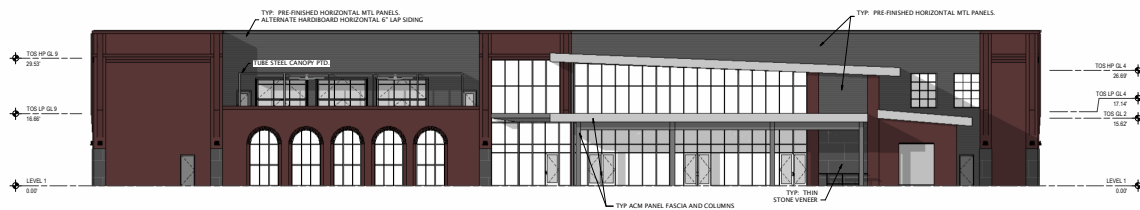




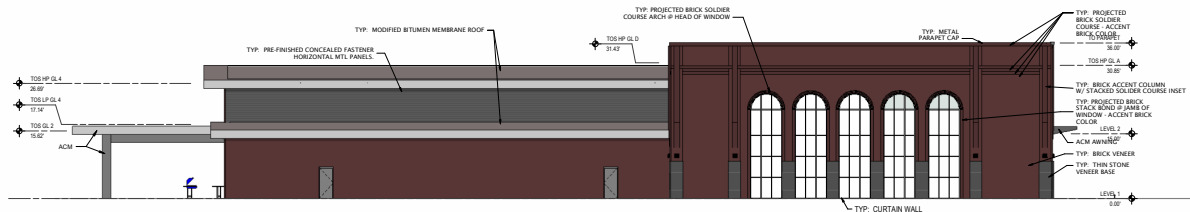
1 HARKRIDER ELEVATION
SCALE: 3/32" = 1'-0"



2 WILLOW STREET ELEVATION
SCALE: 3/32" = 1'-0"



3 FROM CAMPUS ELEVATION
SCALE: 3/32" = 1'-0"



4 MILL STREET ELEVATION
SCALE: 3/32" = 1'-0"



View of subject property facing E from Harkrider St



View of subject property facing N from Willow St



Subject property from Hamilton facing E



Subject property from Mill St facing S



Subject property facing SE



View of subject property facing SW



Property adjacent to the N across Mill St



Property adjacent to the W across Harkrider St



Property adjacent to the N across Mill St



Property adjacent to the N across Mill St



Adjacent property to the S across Willow St



Property adjacent to the N across Mill St