



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

June 23, 2025 • 5:30pm • 1111 Main Street



City of Conway

HISTORIC DISTRICT COMMISSION

April 28, 2025

MEMBERS

Corey Parks, Chairman
Joshua Hamilton, Vice-Chairman
Jenny Davis, Secretary
Liz Hamilton
Nathaniel Johnson Jr.
Marilyn Moix
Jason Covington

Call to Order.

Roll Call.

Approval of Minutes. April 28, 2025

I. Public Hearing Items - Robinson Historic District

- A. Renovation & New Construction at 931 Faulkner St (HDR-0425-0054)-OLD BUSINESS
- B. Tree Removal at 2003 & 2005 Caldwell St (HDR-0625-0075)

II. Public Hearing Items - Old Conway Design Overlay District

- A. New Single-Family Residence at 1365 Bruce St (HDR-0625-0073)
- B. New Single-Family Residence at 611 Walnut St (HDR-0625-0074) *Continuance required as public notificaion requirement was not met.*

III. Additional Business

- A. Additional items as decided by the Commission

Adjourn.

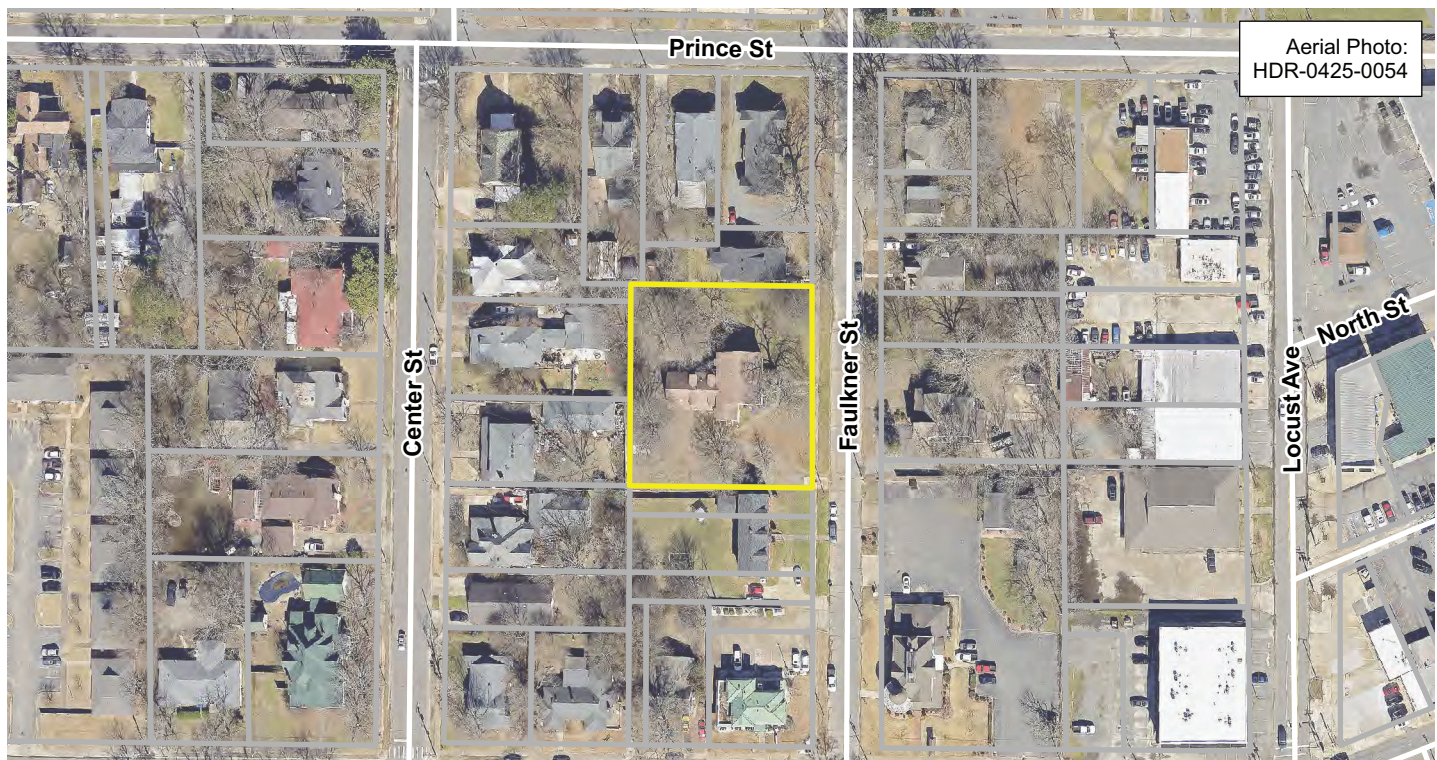
Robinson Historic District

APPLICANT/AUTHORIZED AGENT

Kourtney Bennett, Engage Management
201 Lee Andrew Ln
Conway, AR 72034

OWNER

Brent Salter
201 Lee Andrew Ln
Conway, AR 72034



Location Information

Address. 931 Faulkner St - c.1935 (Plain-Traditional/Craftsman/Colonial Revival; Contributing).

Present Zoning. C-1 (Central Business District), Asa P. Robinson Historic District (APRHD).

Abutting Zoning.

North: O-3 (Restricted Office District), APRHD.

East: C-1, Old Conway Design Overlay District-Transition (OCDOD-TR).

South: C-1, APRHD.

West: R-2A (Two Family Residential District), APRHD.

Lot Area. 0.63 acres±.

Surrounding Area Structures.

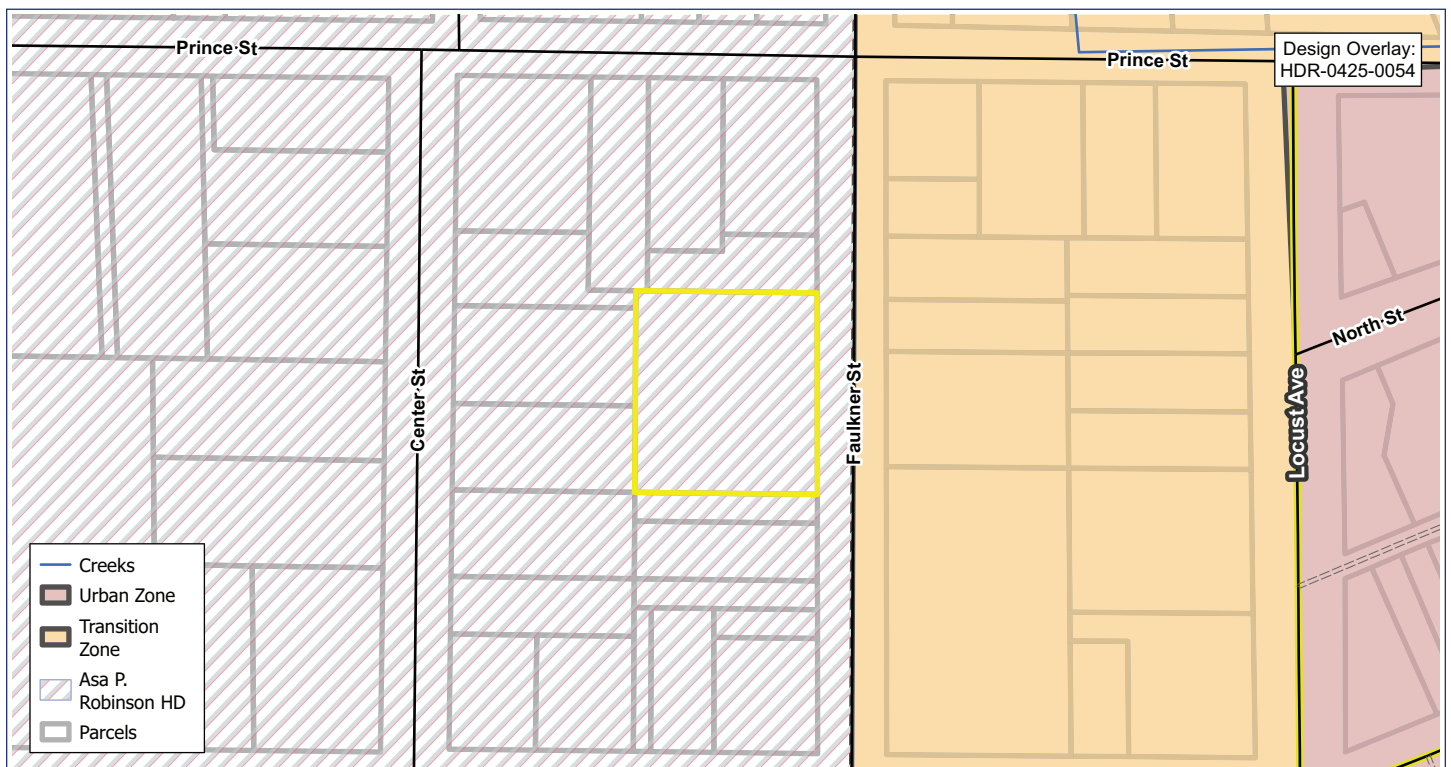
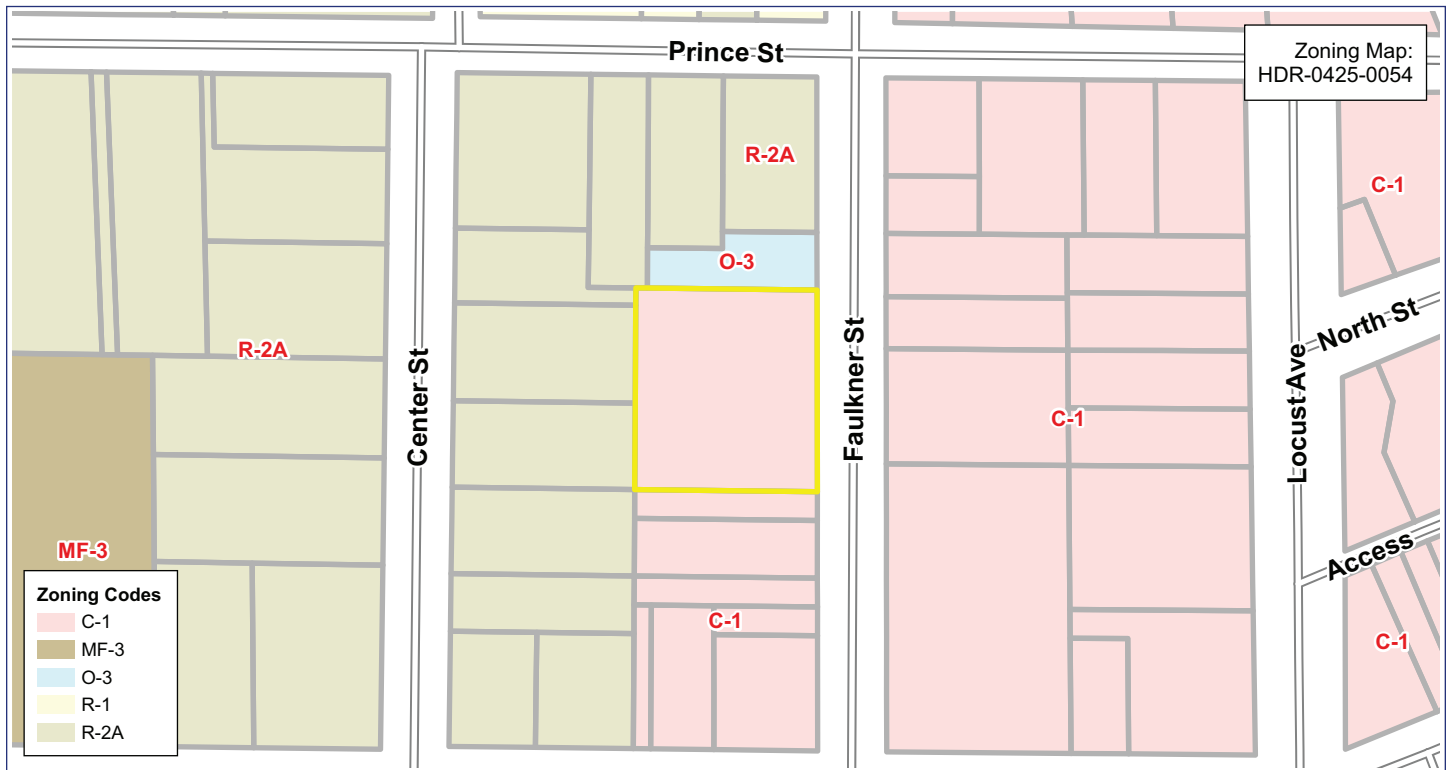
North – 933 Faulkner – P.F. Cleaver House - c.1920 (Craftsman; Contributing).

East – 930 Faulkner – OCDOD - c.1912 (Gabled).

South – 915 Faulkner - c.1938 (Plain-Traditional/Colonial Revival; Contributing).

West – 916 Center—Charles Erbacher House - c.1915 (Colonial Revival; Contributing).

West – 920 Center—Oscar Lee Dunaway House - c.1923 (Colonial Revival; Individually Listed).



General Description of Property and Proposed Development.

This project was tabled at the April 28th Historic District Commission meeting to allow the applicant to provide more information regarding how the new construction will tie into existing development. Commissioners voted to continue the project to the June 23rd HDC meeting. Changes and updates are indicated through underlined text for additions and strikethroughs for deletions.

This is a multi-family residential project in which the applicant is proposing to rehabilitate an existing, contributing structure and construct a new, multi-family dwelling. The property was rezoned from O-3 to C-1 on January 14th, 2025. The C-1 district allows for up to 24 dwelling units per acre. The .63 acre site may accommodate up to 15 units.

On the 2020 survey document, 931 Faulkner is referred to as "Apartment Building at 931 Faulkner St" with historic use being noted as "6 units". The following comments are also noted on the survey document:

- Threats to property: Neglect/Deterioration
- Wings and/or Projections: Old, but likely not original
- Original/Present Wall Material: Weatherboard
- Window Types: Double-hung & Stationary
- Level of Significance: Significant Within a Group Context

The style of the existing building is Plain-Traditional/Craftsman/Colonial Revival. The style of an adjacent multi-family structure located at 915 Faulkner is Plain-Traditional/Colonial Revival. The proposed structure is Plain-Traditional/Colonial Revival.

Applicant Statement: "...Our intent is to apply through the National Parks Services (NPS) Historic Preservation Certification program for approval of all work to be done. We have hired Bob Kempkes, an expert in the historic preservation field, to assist in the process. As required by the program, any materials that can be repaired and reused will be, and replacements will only be made out of necessity...We acknowledge this project is within the Robinson Historic District and embrace the significance of ensuring it becomes a cohesive part of the neighborhood..."

NEIGHBORHOOD

Public Rights of Way and Alleys. Preserve and maintain the topography, patterns, features, materials, and dimensions of streets, sidewalks, alleys and street plantings that contribute to the overall historic character of the historic district. Repair historic sidewalks, curbs, and paving or replace with materials to match adjacent in design, color, texture, pattern, and tooling. Maintain historic driveways and curb cuts.

The applicant has proposed a curb cut to accommodate a parking lot. There are no existing streetscape elements that will be impacted by the project.

THE SITE

Features & Plantings. Sidewalks are an integral part of the RHD. The repair, replacement, or construction of sidewalks is required with new construction approved by a COA.

There is an existing sidewalk along Faulkner St. It will need to be repaired.

Removal of any trees over eight (8) inches in diameter must be approved by the HDC. Street canopy trees shall be planted along street frontages at a rate of one (1) tree per thirty feet of street frontage. Existing street trees over eight (8) inches in diameter may count towards the required number.

The applicant has indicated that thirteen (13) significant trees will remain and seven (7) will be removed. Five (5) trees along the street frontage are required.

In urban areas, there should be no more than 80% impervious surface.

The property is zoned C-1 which allows for 100% lot coverage. Based upon the site plan, the applicant has not indicated occupying more than 80% of the lot.

Contemporary equipment must be shielded from view.

HVAC and utility equipment must be placed outside of view from the public realm.

Robinson Historic District

New parking should be unobtrusive.

Parking is proposed to the north side of the development. The parking lot will be landscaped.

Fences & Walls. Retain and preserve fences and wall that contribute to the overall historic character of a building or site.

No fencing is proposed. There is an existing, wooden privacy fence at the rear of the property.

Walkways, Drives, & Parking. Design new walkways, driveways, and off street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials and color with existing walkways, driveways, and off street parking areas that contribute to the overall historic character of the district. Location of parking areas should be at the rear of the property.

Some of the existing walkways will be repaired. Additional walkways are proposed. One driveway encroachment is proposed that leads to a proposed seventeen (17) spot parking area. The location of the parking area will necessitate the removal of six (6) significant trees. The parking lot is on the north side of the property. A parking lot at the rear would disturb the buffer between the dwellings and adjacent property, including the removal of trees at the rear of the property. The rear setback between the existing dwelling and the rear property line is approximately 30' which is insufficient for a parking area.

Asphalt is not a historic paving method and should not be used for new driveways.

The proposed driveway and parking area must conform. The existing Southern driveway area should be removed.

Lighting. Retain and preserve exterior lighting fixtures that contribute to the overall historic character of a building, site, or streetscape. Introduce new site and street lighting that is compatible with the human scale and the historic character of the district.

No lighting fixtures were shown on submitted plans. Any lighting must conform with standards and may be enforced through Site Development Review.

CHANGES TO BUILDING EXTERIOR

Masonry. Retain and preserve masonry features that contribute to the overall historic character of a building and a site, including walls, foundations, roofing, etc. It is not appropriate to paint unpainted masonry surfaces that were not painted historically.

Applicant will clean and tuck point existing brick around foundation area.

Wooden Buildings. Retain and preserve wooden features that contribute to the overall historic character of a building and a site. Repair historic wooden features using recognized preservation methods. If replacement of a deteriorated detail or element of a wooden feature is necessary, replace only the deteriorated detail or element in kind rather than the entire feature. Where repair is no longer possible because of severe deterioration, an aesthetically acceptable facsimile or substitution closely approximating the original siding may be recommended by HDC. In the rare case where replacement materials, such as fiber cement board may be recommended by the HDC, these materials shall be applied in a way that preserves the original wooden siding underneath.

The original material is weatherboard. It has deteriorated. The applicant is proposing new, cementitious siding of the same lap width.

Windows & Doors. Retain and preserve windows that contribute to the overall historic character of a building. Retain and preserve doors that contribute to the overall historic character of a building. If replacement of a deteriorated window or door feature or detail is necessary, replace only the deteriorated feature in kind rather than the entire unit.

The applicant has stated that they have consulted with a historic preservation architectural specialist. The specialist has stated that the windows are beyond repair and must be replaced. The applicant will be applying through the National Park Service Historic Preservation Certification Program and will only use windows with NPS approval. The elevations show that they will be replacing windows with the same size and grid pattern, but the material is not called out. The HDC may consider including a condition which states that verification of NPS approval of window replacement is required prior to building permit issuance.

All doors will be repaired and repainted.

Replace deteriorated or missing wooden shutters with wooden shutters sized to fit the opening and mounted so that they can be operated.

The existing shutters are decorative and not functional and may not be original. For consideration: they should be replaced with functional shutters. The applicant has stated that according to their historical consultant, the shutters must remain as they were existing at the time of the structure being categorized as "contributing". To remove them could jeopardize the contributing status.

Roofs and Gutters. Retain and preserve roofs and roof forms that contribute to the overall historic character of a building. *The roof is a gable with asphalt shingles. Decking and shingles will be replaced.*

NEW CONSTRUCTION & ADDITIONS

Siding and Bricks. The selection of materials for a structure should be compatible with and complement the surrounding structures in the RHD. Brick, stone, and wood are the most appropriate materials for the cladding of structures. *The applicant is proposing modular brick siding, brick clad columns, and brick rowlock sills.*

Size, Shape, Scale. New construction shall maintain the existing pattern of surrounding historic buildings along the street. Orient the main entrances of the building at the front (street) in a manner similar to established patterns in the district. *The new multi-family building will be set between the existing multi-family structure at 931 Faulkner and another multi-family structure on an adjacent property to the south. The proposed height is 38' 6" to ridge soffit. The height of adjacent multi-family structures are 29' 1" and 30' 1". The proposed structure is eight (8) feet taller than the existing structure. The proposed structure is three (3) stories and adjacent multi-family dwellings two (2) stories. Adjacent properties to the north and west are residential in design and scale.*

The proposed dwelling will be oriented towards a shared courtyard on 931 Faulkner and will be aligned with the existing structure. The front elevation may benefit from additional architectural details which would help it visually align with the Faulkner facades of adjacent buildings. This could be in the form of larger bottom floor windows, planter boxes, differing materials/textures, etc. The front door could be more pronounced to mitigate the orientation discrepancy. More details on other elevations should be considered, especially the southern elevation which is visible for northbound traffic on Faulkner St. It is the project architect's assertion that the simplicity of the eastern and southern façade are integral to the style and embellishments are not necessary. Staff does not find this claim to be in conflict with the regulations or guidelines.

Roof Type. Roof types on new buildings should conform to surrounding historic structures in shape and pitch. *The proposal conforms.*

Windows. Select windows and doors for proposed new buildings that are compatible in material, subdivision, proportion, pattern, and detail with the windows and doors of surrounding buildings. *The applicant is proposing six over six windows with fiber cement trim which appears comparable to the trim width of adjacent structures of a similar style. Dormers may be considered for the attic windows.*

Setbacks.

Front Setback: Between 85% and 115% of the average front setback distance established by the existing adjacent historic structures.

Side: Six (6) feet in all residential zones, 0 feet in C-1 areas.

Rear: 3 feet or 15 feet from centerline of alleyway in residential zones, 0 feet minimum in C-1 area.

The proposal conforms.

Lot coverage. 80-100% in commercial areas.

The proposal conforms.

CONDITIONS

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.

*Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.

2. HVAC units and other utility equipment shall be screened from the public right-of-way through their positioning in relation to other structures, architectural screening or through vegetative cover.

3. Driveway and parking shall be composed of brick, stone, pavers, or concrete. Asphalt is not permitted.

4. Masonry shall be cleaned with the gentlest means (water blasting is not permitted). The brick shall not be painted.

5. Prior to issuance of a building permit, the applicant shall provide Planning Staff with verification that the National Park Service has approved the window replacements and the siding replacement on the existing structure.

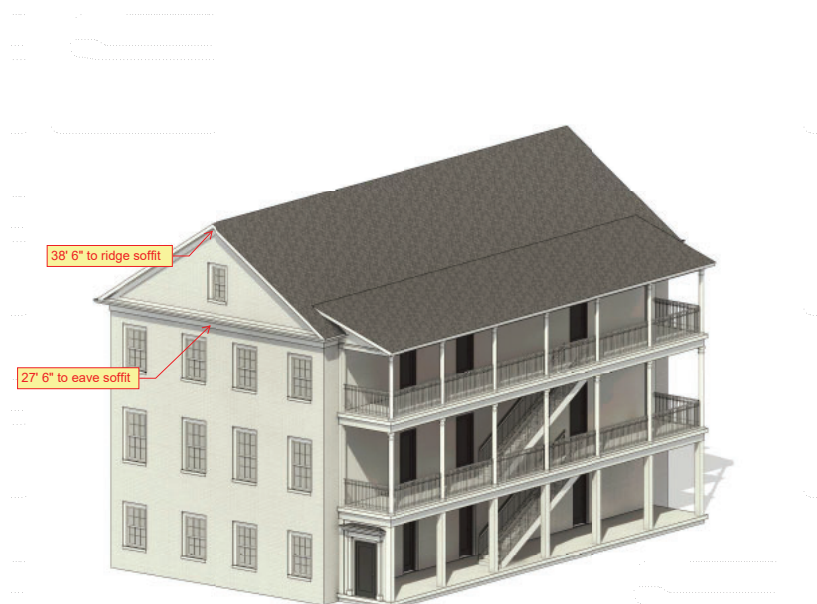
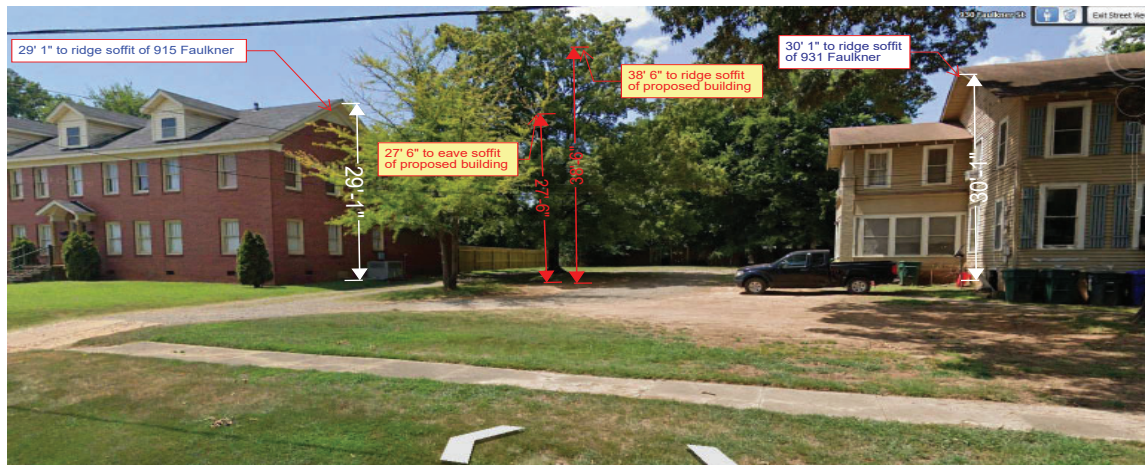
6. If shutters are to remain, they shall be replaced with a functional equivalent sized to fit the window openings.

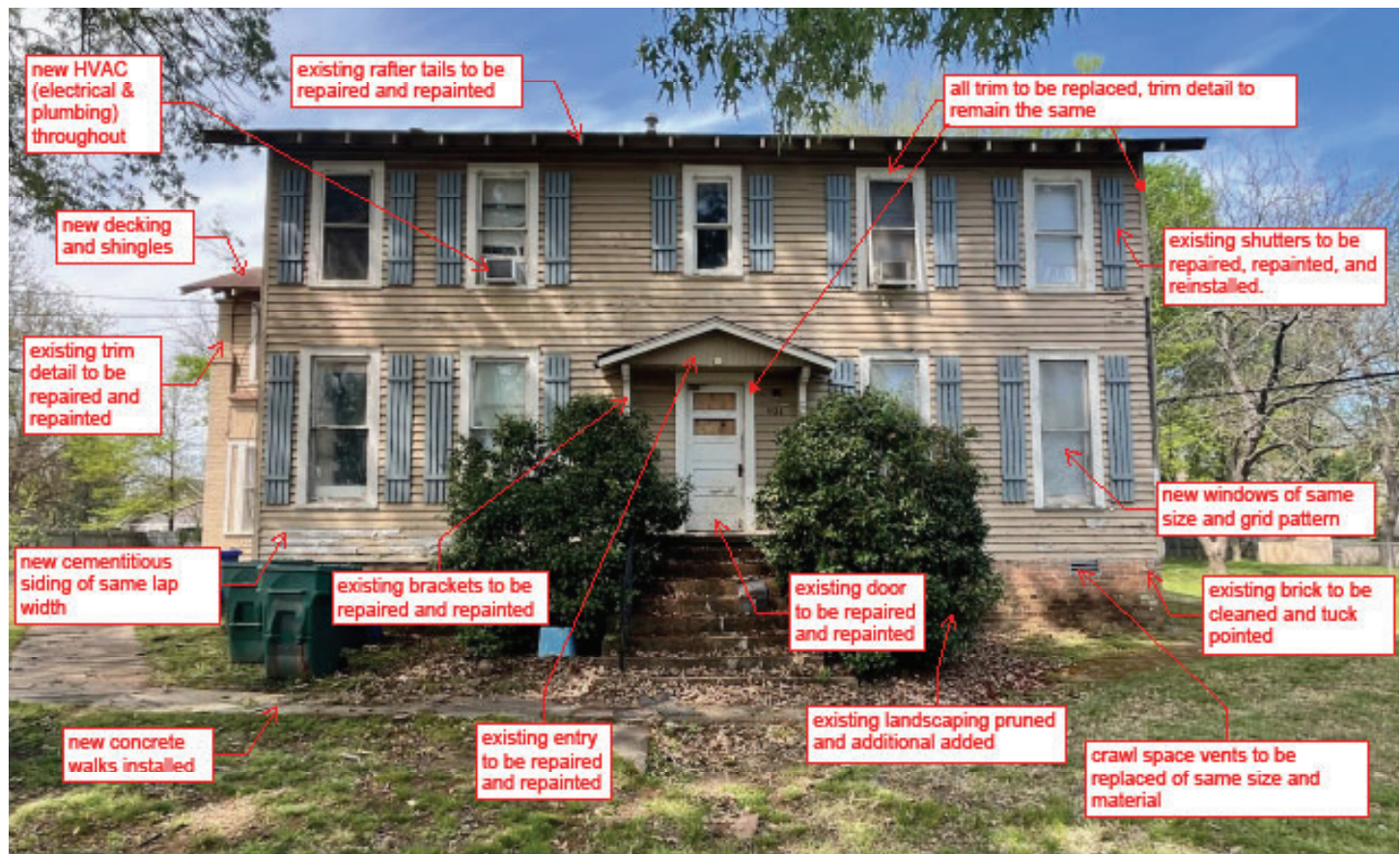
7. Prior to issuance of a Certificate of Appropriateness, applicant shall provide planning staff with:

- Elevations that mitigate the new construction's orientation discrepancy on the Faulkner St façade.

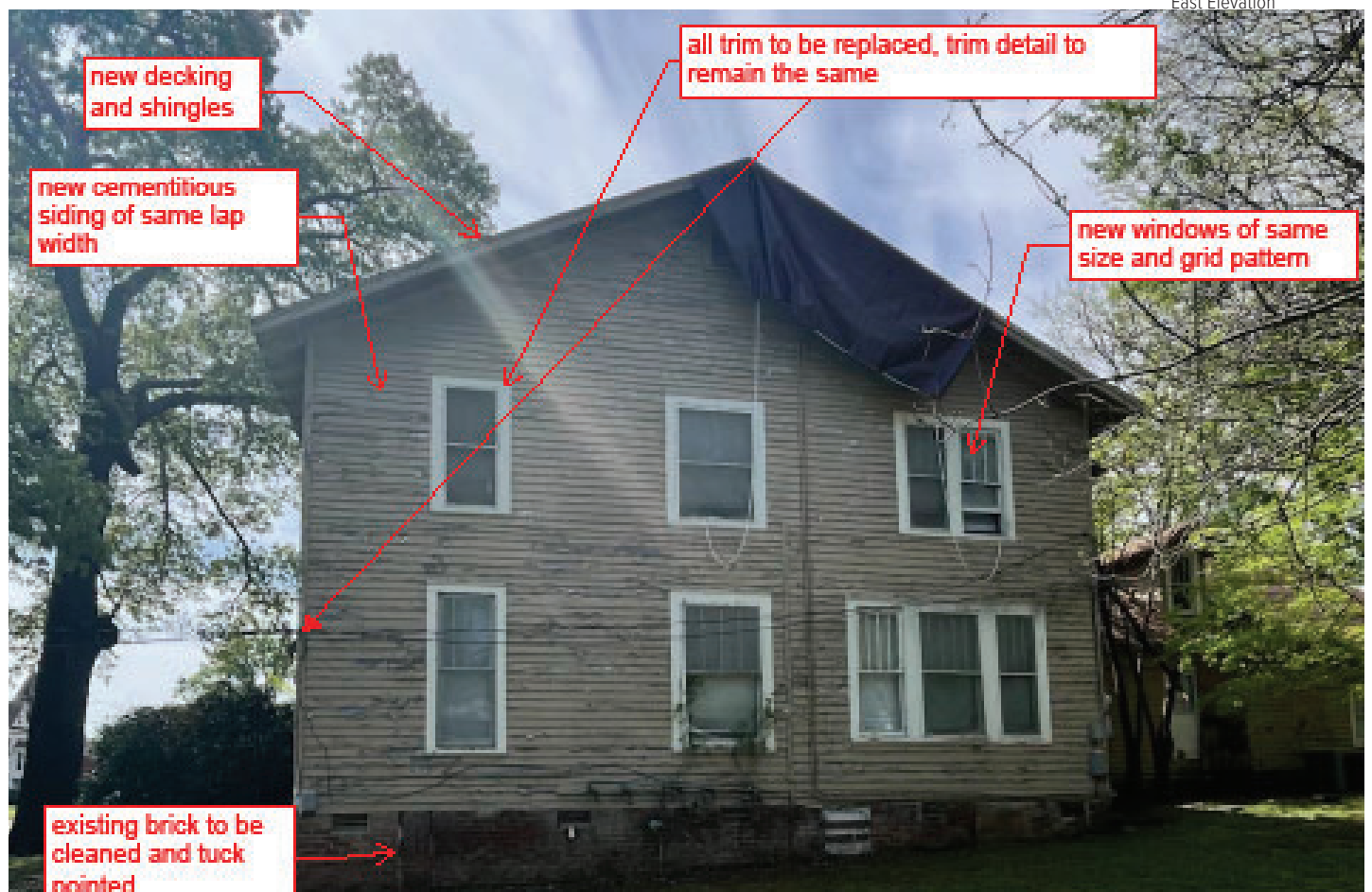
Robinson Historic District

- Additional architectural details on the Southern elevation.
 - Courtyard entrance details (i.e. fencing type, vegetation, etc.).
- Roofing shall be asphalt or composition type shingles.
 - Siding on the new construction shall be composed of brick and wood or a wood-like material such as Hardie® siding/LP® SmartSide®.
 - A minimum of five (5) trees from the approved species list must be planted along Faulkner St, outside of the right-of-way.
 - The existing sidewalk shall be repaired and meet ADA standards.
 - Lighting shall be inward, downward, and shrouded to stay within the bounds of the property.
 - The applicant shall coordinate with the Department of Transportation for a driveway permit.
 - The project shall undergo Site Development Review prior to building permit issuance.
 - The property shall be replatted prior to, or concurrently with, Site Development Review.
 - Existing driveway shall be removed.

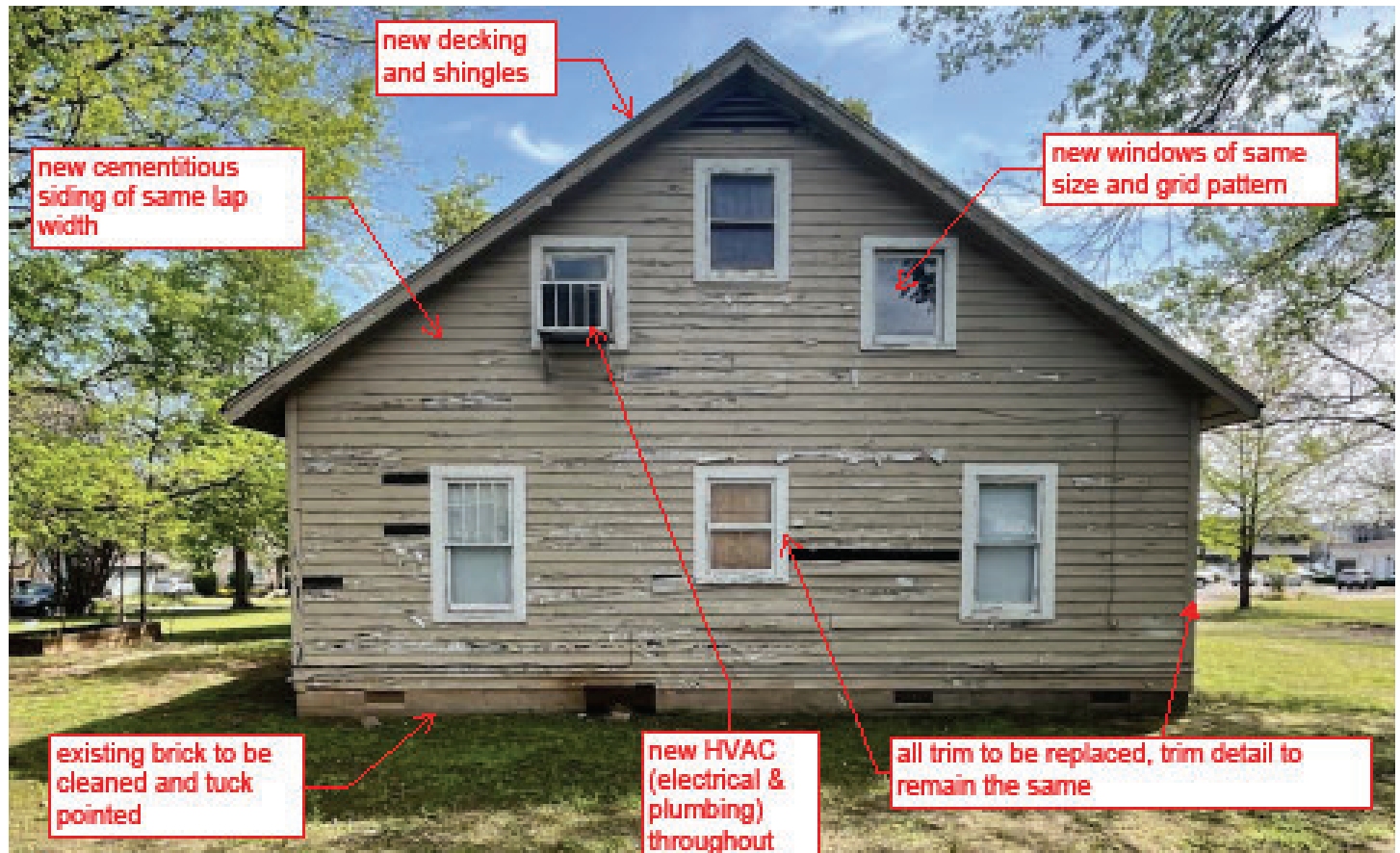
Faulkner Street Roof Heights



East Elevation



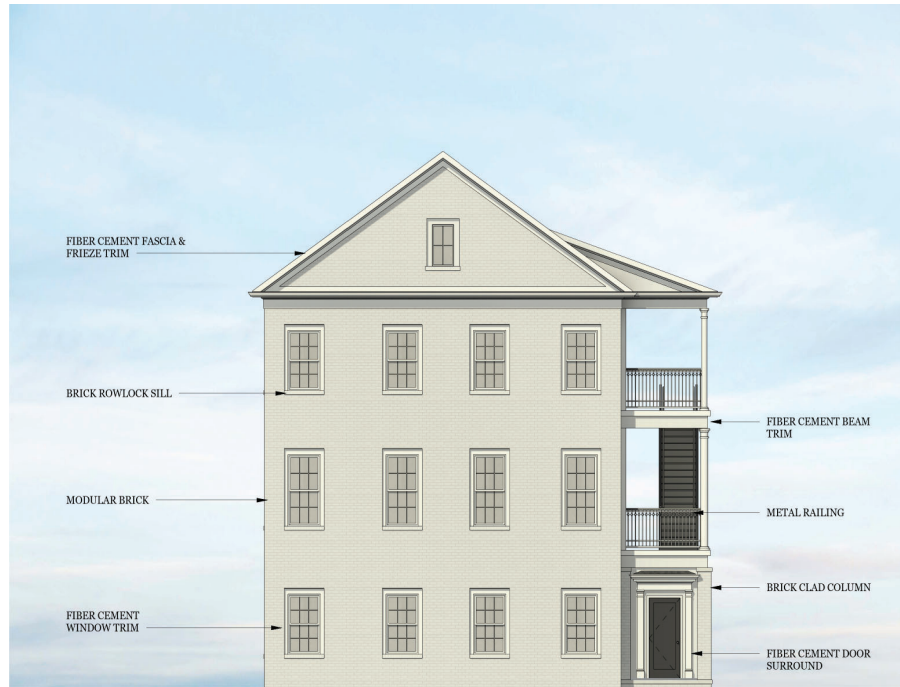
North Elevation



West Elevation



South Elevation



FRONT ELEVATION
1/8" = 1' - 0"

FAULKNER SIDE-YARD

COURTYARD BUILDING & BLOCK, LLC

04/15/24



SIDE ELEVATION
1/8" = 1' - 0"

FAULKNER SIDE-YARD

COURTYARD BUILDING & BLOCK, LLC

04/15/25





REAR ELEVATION
1/8" = 1' - 0"

FAULKNER SIDE-YARD
COURTYARD BUILDING & BLOCK, LLC
04/15/25



COURTYARD ELEVATION
1/8" = 1' - 0"

FAULKNER SIDE-YARD
COURTYARD BUILDING & BLOCK, LLC
04/15/24





LOOKING NORTH FROM CALDWELL



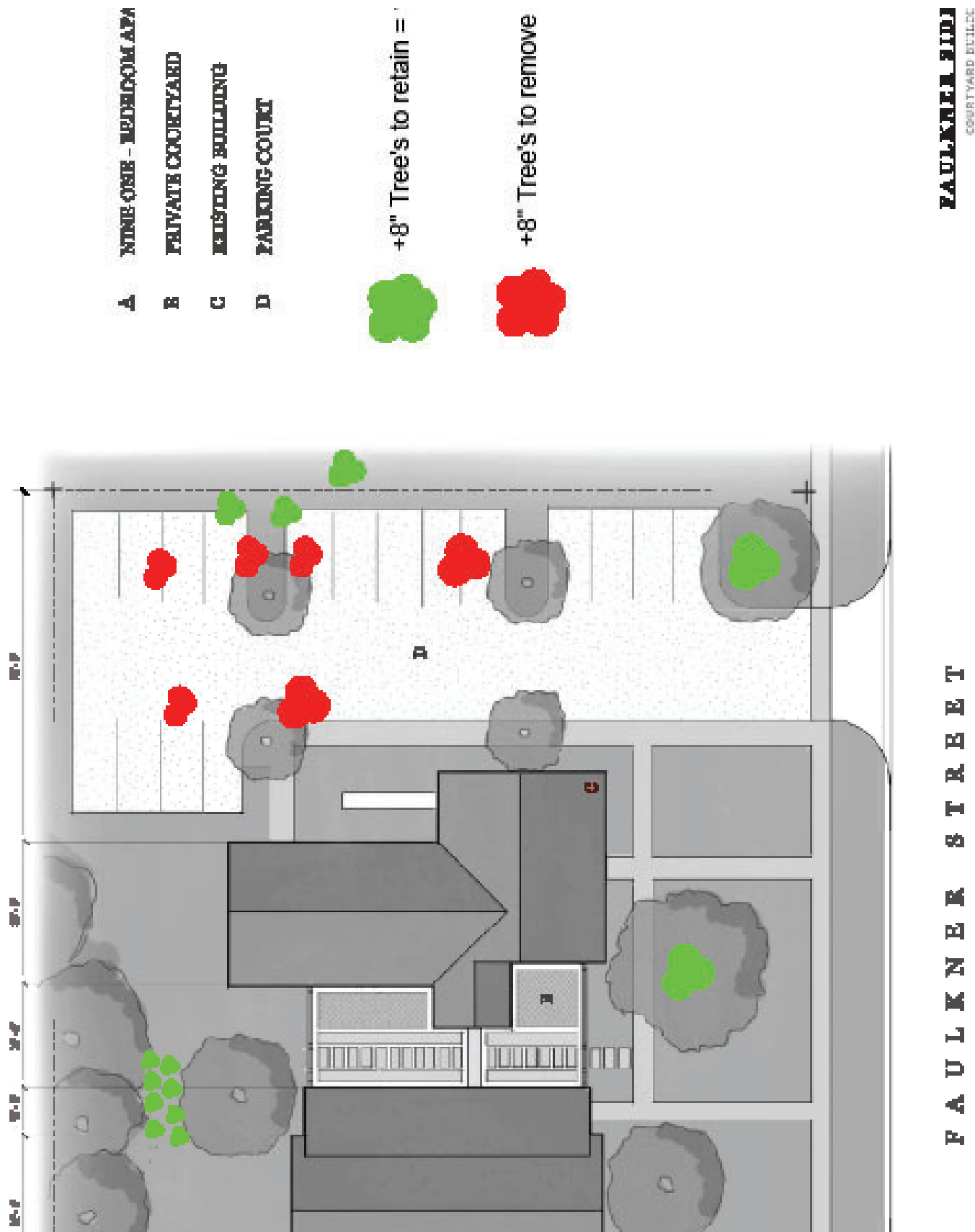
LOOKING NORTH FROM FAULKNER



SUBJECT PROPERTY



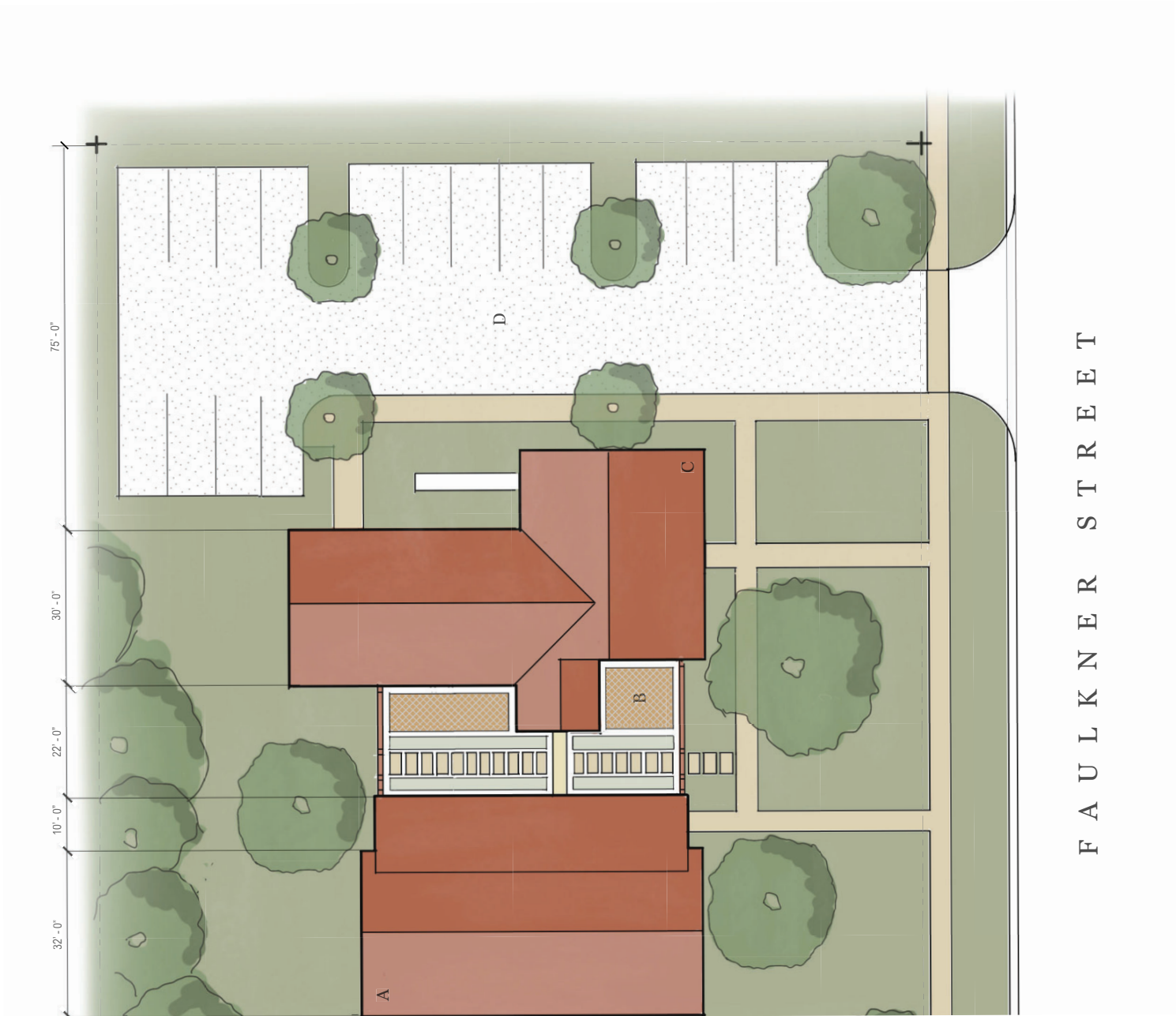
LOOKING SOUTH FROM SUBJECT PROPERTY

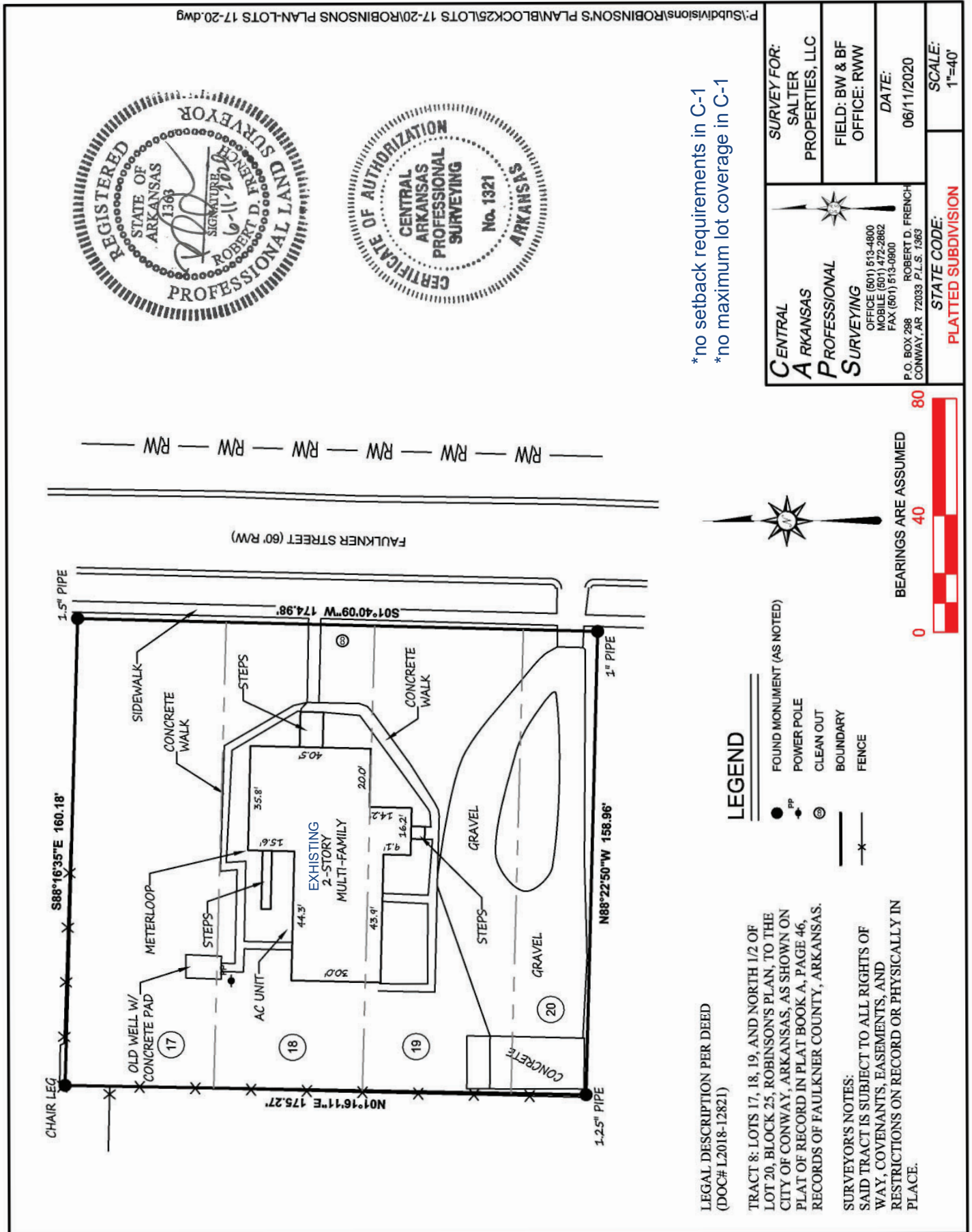


Robinson Historic District

- A NINE ONE - BEDROOM APARTM
- B PRIVATE COURTYARD
- C EXISTING BUILDING
- D PARKING COURT

FAULKNER SIDE-YA
COURTYARD BUILDING & BI







To: Historic Commission
From: Brent Salter
Project: 931 Faulkner
Date: 4.10.2025
Sent Via: City Portal

RE: Project Introduction

There are 2 components to this project. First is the rehabilitation of the existing structure and second is the addition of a 9-unit building. Although having their own identity, the 2 buildings will work in harmony aesthetically and functionally, while bringing much needed residential apartments to downtown Conway. A shared courtyard will provide a setting for social engagement, and the buildings location on the site will encourage walkability.

The existing building is one of the 89 Contributing Structures in the Robinson Historic District, Resource No. FA1170 – Apartment Building at 931 Faulkner, as defined in the National Register of Historic Places Registration Form dated 11/27/2000. Our intent is to apply through the National Parks Services (NPS) Historic Preservation Certification program for approval of all work to be done. We have hired Bob Kempkes, an expert in the historic preservation field, to assist in the process. As required by the program, any materials that can be repaired and reused will be, and replacements will only be made out of necessity. Regardless, specific architectural detailing will remain. This will be our 6th NPS certified historic preservation project, and 5th in Conway.

The new structure will consist of 9 studio units. 3 units per floorplate. Although it is a requirement of the NPS for this new building to be identifiably different than the existing structure, not at attempt to copy, it will be in vernacular appropriate for the District. We are proposing all masonry cladding which is prevalent in the District. The building has appropriate massing for the site and is 3 stories in height, which considering the adjacent properties, is appropriate scaling for the property and the streetscape. A document showing the height of the proposed building relative to the adjacent structures is included for reference.

We acknowledge this project is within the Robinson Historic District and embrace the significance of ensuring it becomes a cohesive part of the neighborhood.

With that, we respectfully request this project be approved as proposed and a Certificate of Appropriateness be issued.

Thank you.

From: [Bob Kempkes](#)
To: [Tara Jackson](#)
Cc: [Brent Salter](#); [Jay Salter](#); kourtney.bennett@engagementmanagement.com
Subject: 931 Faulkner St. Conway
Date: Thursday, April 24, 2025 10:41:31 AM
Attachments: [HOWE HOTEL RENOVATION \(4\) 1.pdf](#)

You don't often get email from bob@taylorkempkes.com. [Learn why this is important](#)

This message was sent from outside the organization. If you were not expecting this email, please be cautious when opening attachments or clicking on links.

Hi Tara,

I have been retained by Salter Properties to provide historic preservation and tax credit consultation. We have worked together on several tax credit projects over the years. At 931 Faulkner we discussed having new sashes constructed, but the frames were in poor condition also so adding new sashes to existing deteriorated frames did not seem to make sense.

Many of our clients on historic residential projects have been opting to replace the windows even when it's more expensive. Our last two historic projects that were approved for by the NPS for Federal Tax Credits were replacement units. One was aluminum clad double-hung wood windows and the other was painted double-hung wood windows. Manufacturers are much more aware of the requirements of replacement windows to be historically accurate. Manufacturers like Quaker work directly with NPS Technical Services to make sure their profiles are accurate. I've attached a drawing from Quaker for one of our projects in Hot Springs showing the existing and the replacement and how closely they match. The windows in Hot Springs are 3 over 1 double-hung wood windows and the windows at the front elevation of 931 are 1 over 1 double-hung wood windows with the windows on the remaining elevations being 4 over 1 double-hung wood windows so very similar to Hot Springs. We have found in past historic tax credit projects that the NPS is receptive to replacement windows as long as the new windows have same size sashes and mullions as well as having the trim dimensions required by the sash weight pockets.

The other important requirement is that they have the sash offsets of true double-hung windows. We will be extremely careful selecting the windows and will have approval prior to ordering.

If you have any questions, comments or need more information please feel free to give me a call on my cell.

Thanks, Bob

Bob Kempkes
Taylor/Kempkes Architects
210 Central Ave., Suite 3
Hot Springs National Park, AR 71901
Phone: (501) 624-5679
Cell: (501) 282-0513

COURTYARD BUILDING & BLOCK LLC

100 W Center Street
Suite 300
Fayetteville, AR 72701

479 442 0229
cbblock.com

April 28, 2025

Tara Jackson, Long Range Planner
City of Conway
Planning & Development
1111 Main Street
Conway, AR 72032

Via Email: Tara.Jackson@conwayarkansas.gov

**RE: HISTORIC DISTRICT COMMISSION COMMENTS
931 FAULKNER STREET RENOVATION AND NEW CONSTRUCTION**

Dear Ms. Jackson.

I have read the HDR-0425-0054 Document that summarizes the issues regarding the work at 931 Faulkner Street as well as an undated letter from Mr. Dan West. I would like to take this opportunity to add some further comments and details that may be helpful to the Historic District Commission. First, I want to let you know that we feel honored to be working in Downtown Conway. I grew up in a college town in Arkansas, so I'm very aware of the challenges that Conway is facing. I began my education at Sewanee in Tennessee, where I majored in history, with a focus on the art and architecture of the 18th century. After college, I enrolled in the architecture program at the University of Arkansas, where I studied historic preservation under Cyrus Sutherland. I did my internship in downtown Rogers and then went out on my own. My practice is primarily adaptive reuse or designing new buildings in in-fill locations that enhance the character of their neighborhoods.

We never try to copy historic buildings, but we have carefully studied the details and techniques that make old buildings so beloved. Our starting point is to always try to get the proportions of the façade right. We generally like to have facades that are taller than they are wide, which is generally more elegant. We make sure that the margins of wall above and between windows is generous. We generally like steeper roof pitches which look nice and shed water better than flat or low-slope roofs.

When it comes to details, we usually use divided light sash windows, and we take great care in how the window meets the wall. In this project, we are proposing a layer of trim between the window and the brick that will feature profiled trim to add depth and complexity to the building. We are also proposing a frieze board and roof eaves and rake details that are layers of flat and profiled trim so that the building has a true classical character. We like to line up well-proportioned windows and doors and try to avoid eccentricity.



On this site, the spaces between the buildings offer an opportunity to create some very nice gardens. For this reason, we are proposing a side porch arrangement, which, as Mr West has noted, is more typical of the coastal south than Conway. However, I think that this side-yard type of building is very appropriate for this climate and is also a good way to get the porches on a less prominent side of the building. I know that the Salters will be good managers of this property, but I have seen examples of residents that allow clutter on the balconies. For this reason, I think that side porches are better solution.

Mr. West also mentioned that he and others might prefer a two-story building. In my opinion, that would create a squatty façade and would be less attractive. Having a bit of height in the neighborhood could be really nice, and I feel that it would in no way diminish the character of the neighborhood. We are lucky that we have a well-established canopy of mature trees. Those large specimen-quality trees help to make the scale of a three story building feel very appropriate.

In closing, I want you and the members of the Historic District Commission to know that the design of this new building has been very carefully considered. Brent Salter gave us this important commission because he knew that we had the skill to design a new building that would contribute to the character of the neighborhood. It is certainly our intention to enhance Faulkner Street and the surrounding area.

Sincerely,



Robert Sharp, Architect

Cc: File



View of subject property from Faulkner St



View of new construction area from Faulkner St



Adjacent property to the N



Adjacent property to the E



Adjacent property to the W



Adjacent property to the W

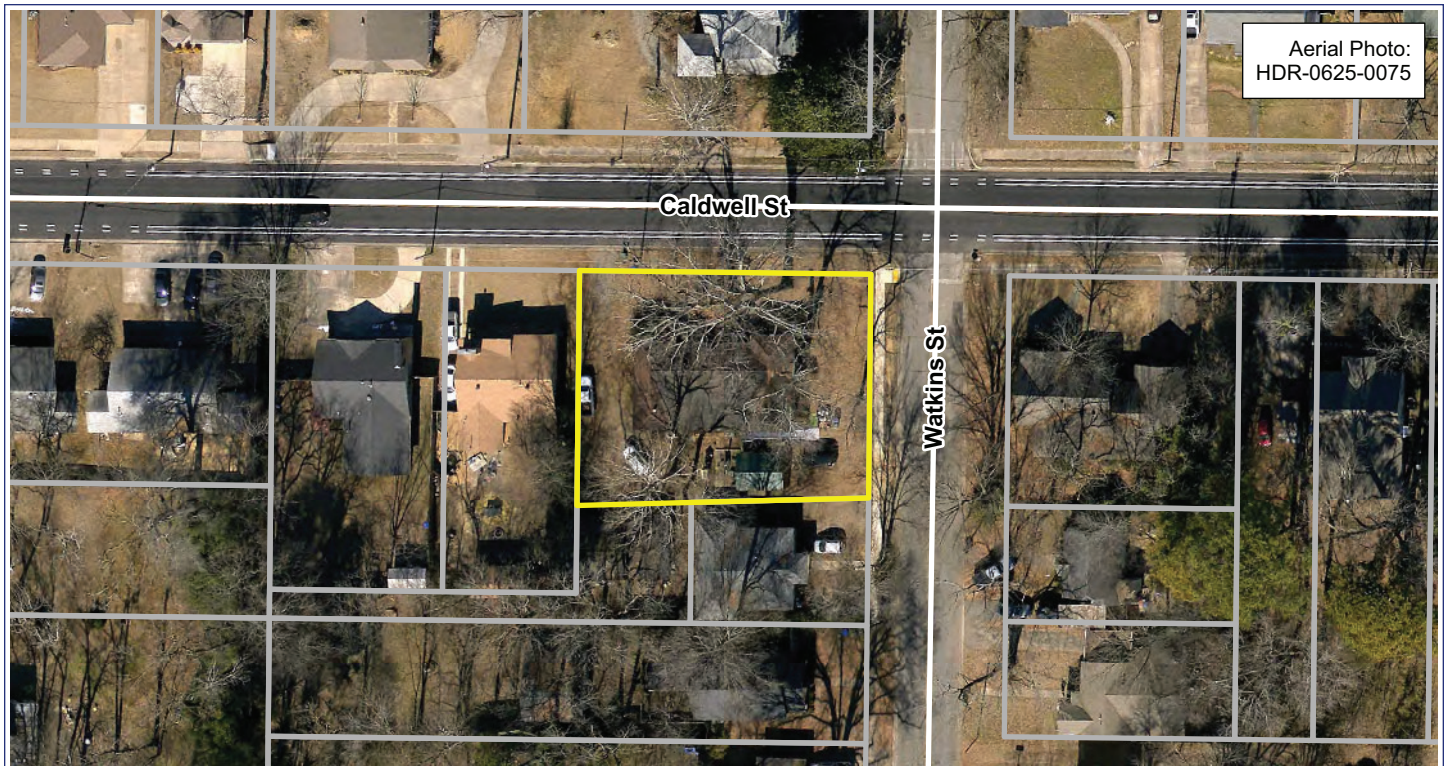
Robinson Historic District

APPLICANT

Chris Capehart
711 W Bailey Boswell Rd Suite 100
Saginaw TX 76179

OWNER

Same

**Location Information**

Address: 2003 & 2005 Caldwell St.

Present Zoning. R-2A (Two-Family District), Asa P. Robinson Historic District (APRHD).

Abutting Zoning. North: R-1 (One-Family District); East/South: R-2A, APRHD. West: R-1, Old Conway Design Overlay District (OCDOD).

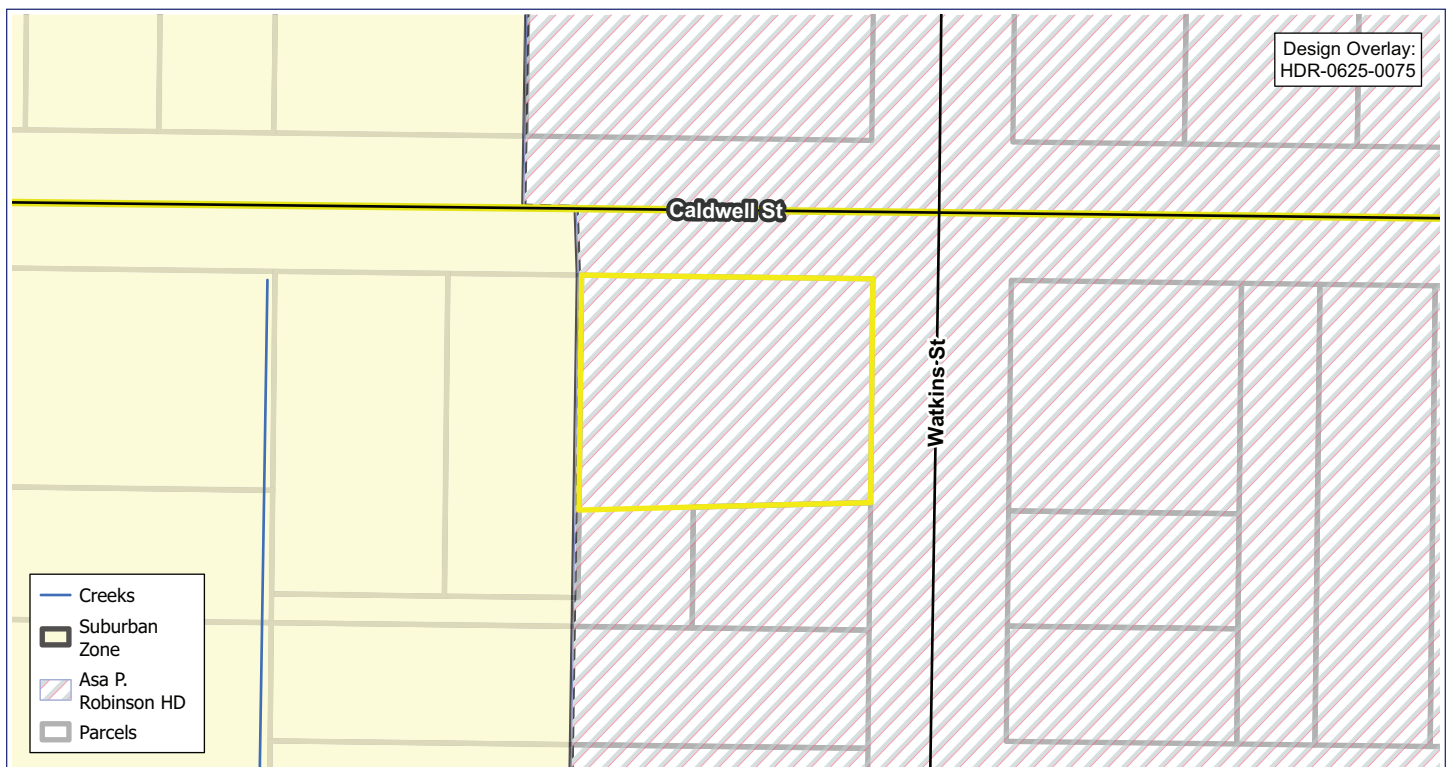
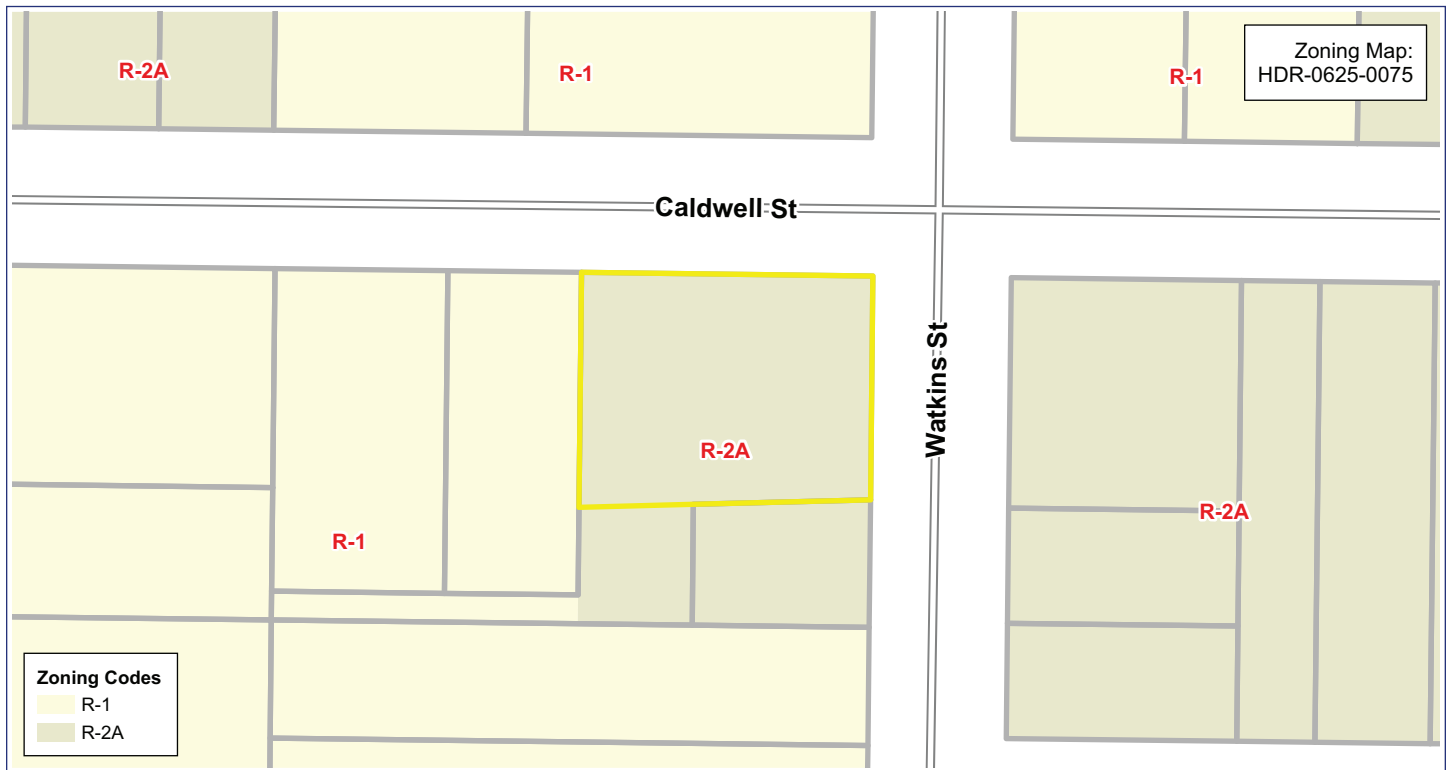
Lot Area. 0.39 acres±.

General Description of Property and Proposed Development.

The property is located on the southwest corner of Caldwell and Watkins in the Robinson Historic District. There appears to be at least four significant trees on the property.

The applicant is requesting to remove two significant trees. Applicant's statement:

I had a large tree on my property hit by lightning a few days ago, and we need to take it down. There's also another tree that has grown into the foundation of the house, and I would like to take that one down at the same time if possible. I really don't want to remove these trees, but they pose both safety and structural risks at this point, so I feel like I don't have another option.



Tree Preservation.

Removal of one or more significant trees in the Robinson District requires approval by the Historic District Commission. A Certificate of Appropriateness requires the following information:

1. Site plan and/or photographs showing location of significant tree(s);
2. Proof that the tree is dead or so badly diseased or damaged that it cannot be salvaged (such as a letter from a landscape firm);
3. Any other reasons for removal;
4. Species and size of the tree that will be planted to replace it, as well as the location where it will be planted.
5. If the tree is removed, the stump must be removed or ground to the surrounding surface level.

Staff Comments.

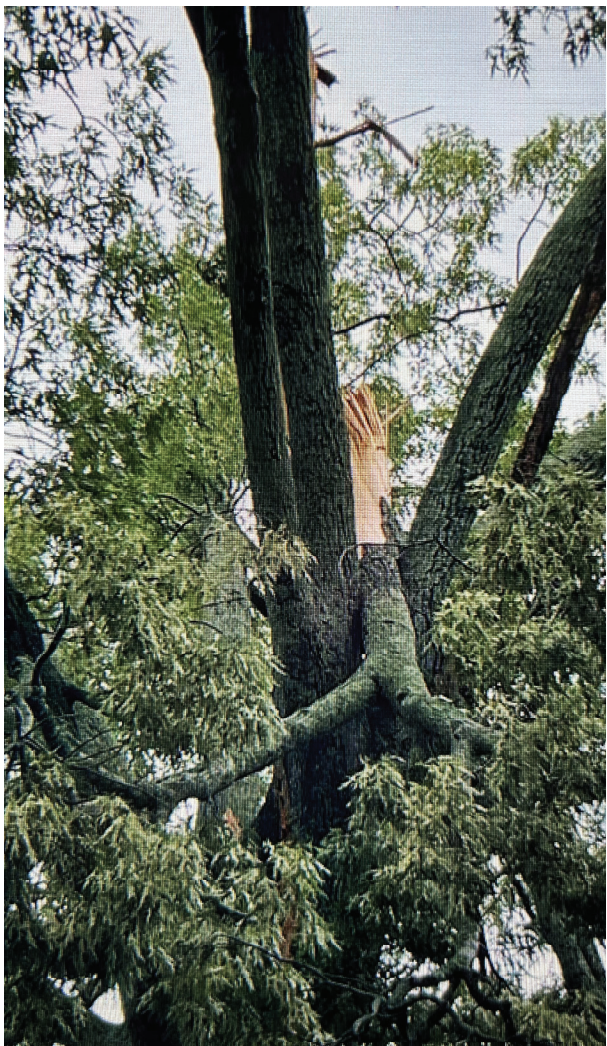
- Photographs showing the significant trees have been reviewed by staff.
- A letter from a landscape firm or other professional was not provided.
- The photos provided show evidence of damage to the lightning struck tree which could threaten life, limb, or result in significant property damage.
- Likewise, the proximity of the healthy tree to the existing structure confirms that it could result in eventual property damage which is why it is being proposed for removal.

Conditions

1. Two trees from the approved tree species list shall be planted to replace those removed.
2. The replacement trees shall be planted outside of right-of-way and may be either canopy or understory.
3. The stump must be removed or ground to the surrounding surface level.

Work Not Requiring a Certificate of Appropriateness per HDC Standards, Sec. 15.B.

In emergency situations, threatening life, limb, or significant property damage, work may be performed without a Certificate of Appropriateness.







View of subject property from Caldwell St



View of subject property from Watkins St



View of lighting struck tree on subject property



Adjacent property to the E



Adjacent property to the S



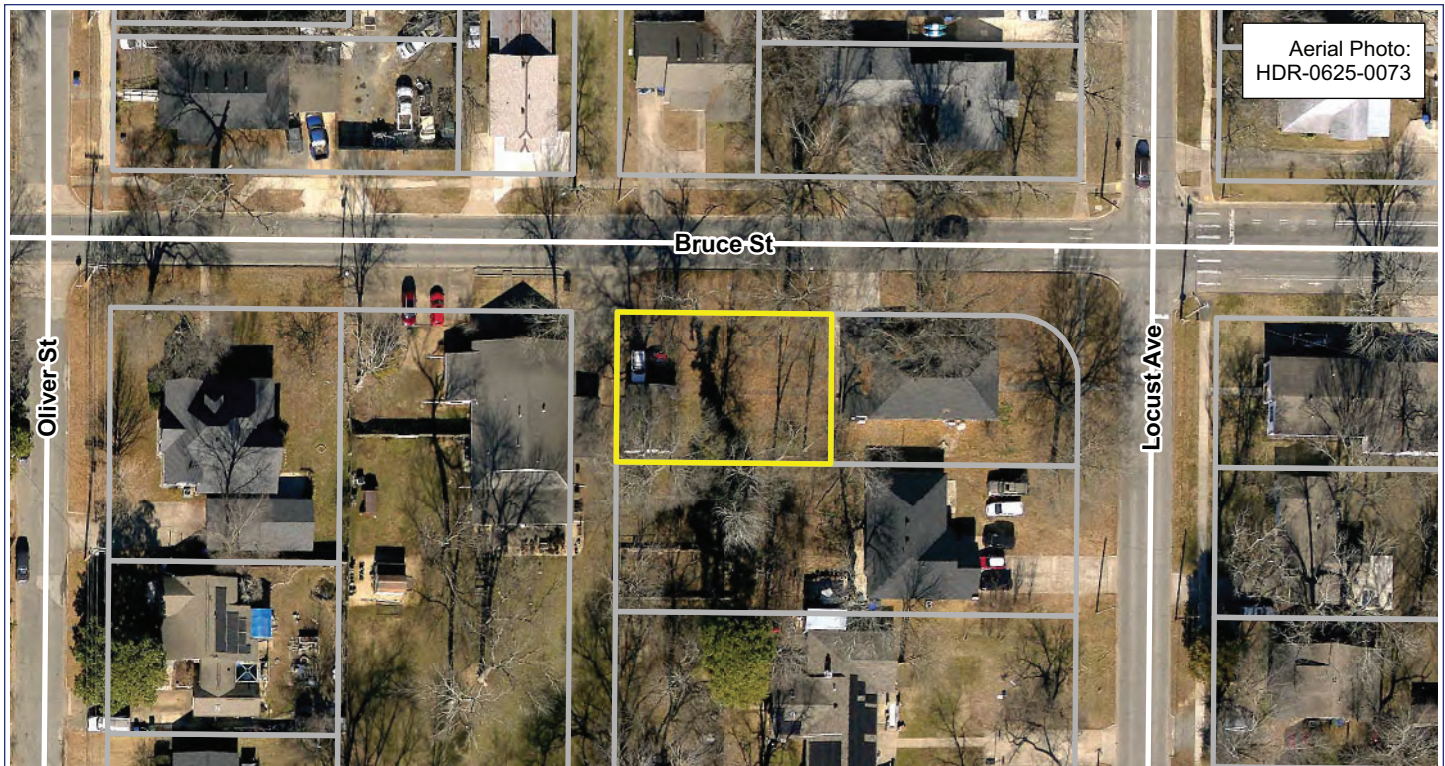
Adjacent property to the W

APPLICANT/AUTHORIZED AGENT

Jason Kordsmeier
875 Enterprise Ave
Conway, AR 72032

OWNER

Claw Meier Holdings LLC
2995 Dallas Loop
Conway, AR 72034

**Location Information.**

Address. 1365 Bruce St.

Present Zoning. R-2 (Low Density Residential District), Old Conway Design Overlay Suburban District (OCDOD-SUB).

Abutting Zoning. North/South/East/West: R-2A (Two Family Residential District), OCDOD-SUB.

Lot Area. 0.14 acres \pm .

Surrounding Area Structures. The property is 78 feet west of the southwest intersection of Locust Ave and Bruce St. Area structures consist of a mix of single-family homes in Craftsman, Gable, contemporary, and minimal traditional styles.

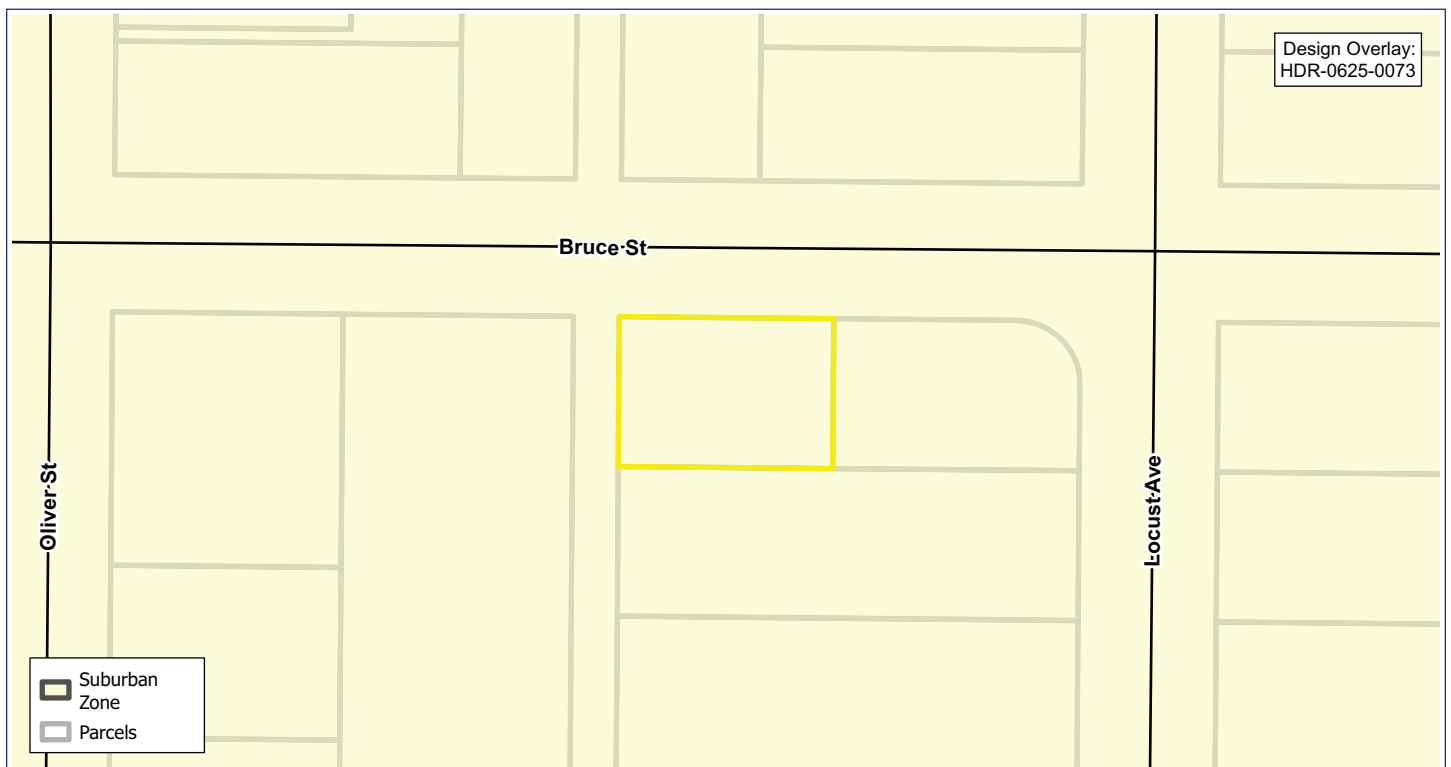
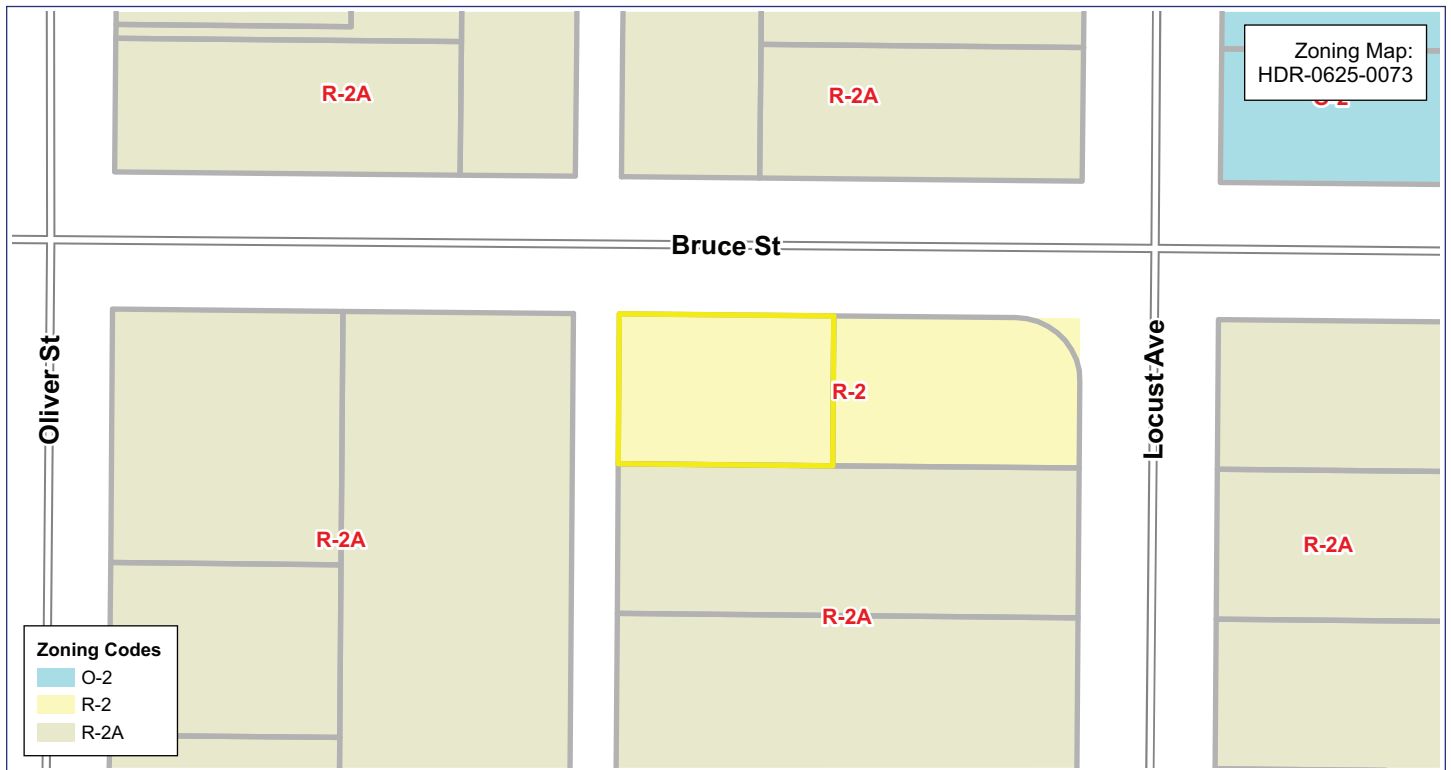
General Description of Property and Proposed Development. The applicant is proposing to construct a new 1,806sf single-family residence with a side porch and an attached carport/storage unit. Also proposed is a driveway. The style of the proposed residence is reflective of a side-gabled Craftsman residence.

Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area.

Side: 6 feet.

Rear: 5 feet.

The average front setback in the area is 16'. The applicant is proposing a setback of 16'. All other setbacks comply.



Old Conway Design Overlay District

Spacing. Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area.

The proposal conforms.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for this site is approximately 31%. The proposal conforms.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door of this structure faces the street in a similar fashion to other structures on the street.

Alleys. The use of alleyways is encouraged.

It appears the existing alley is being utilized by an adjacent neighbor.

Driveway / Parking. Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.

The applicant has indicated a driveway off Bruce St. It appears to be concrete and 12' wide. It is located at the western side of the residence. Parking will be accommodated by a carport at the termination of the driveway.

Sidewalks.

Sidewalks are required for new construction.

No sidewalk is proposed. The project triggers a new sidewalk along Bruce St. Bruce St is a residential collector which requires 5' sidewalks with 7' greenspace area. Sidewalk construction notes on Plat of Record state: "Sidewalks along residential streets: Sidewalks along streets with residential lots shall be constructed by the homeowner/builder. The sidewalk shall be installed prior to the final inspection and issuance of a Certificate of Occupancy."

Fences/Walls. Fences shall be no more than 3.5 feet tall in front yards with pickets no more than 4 inches wide and 3 inches apart. Privacy fences shall be no more than 6 feet tall and are only allowed in rear yards or side yards as deemed appropriate. Fences may be constructed of wood, iron (or aluminum mimicking iron), brick, or stone. The upper two feet of privacy fencing should have 50% opacity, provided by a lattice or grid pattern of wood or iron.

No fencing is indicated on the site plan. Should any fencing be installed, it must meet the guidelines stated above.

Tree preservation. Any trees over 8" in diameter or greater must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.

The applicant has indicated the removal of one canopy tree to accommodate the proposed carport. To adhere to the above tree-to- frontage ratio, it is recommended that an additional canopy tree be planted. An understory tree would suffice.

Massing.

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The proposal is for a single-story structure which is like most residences in the neighborhood. The width at approximately 47' will not be out of scale of the pattern of the neighborhood as the other structures are between approximately 35' and 60' wide.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprint will cover 30% of the lot which is a similar footprint to that found on surrounding lots.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structures will contain a level of detailing and form that is compatible with the patterns of the area as it is designed according to a side-gabled Craftsman house with eaves, a porch, and materials which complement this design type.

Old Conway Design Overlay District

Façade, wall area, rhythm. New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area. *All elevations contain windows including several on the front facade. The front façade is over 25% windows.*

Design Elements.

Style. New design should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area is characterized by a mix of styles with an emphasis on Craftsman. The design of the proposed residence reflects a side-gabled Craftsman which blends in with houses of a similar design in the neighborhood. The horizontal siding, brick skirt, and hip roofs contribute to the neighborhood while still expressing a contemporary nature.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed.

A side porch with front porch with a 7' depth is proposed and meets the requirements. The proposed windows feature wide trim with 2 over 1 division.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

Lighting must conform to this requirement.

Materials and Detailing.

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartsite type siding.

The applicant is proposing fiber cement board, horizontal siding with a brick skirt. The proposal conforms.

Shutters, Roof, Decks/Plaza Space, Skylights. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

The applicant is proposing a gable and hip roof with composition shingles. This is compatible with surrounding homes.

Mechanical system screening. HVAC units should be located where they are not readily visible from the street. If visible, they should be screened with shrubbery or fencing.

No HVAC equipment is shown on the site plan.

Conditions

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.

**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*

2. One tree from the approved tree species list shall be planted along the Bruce St frontage (outside of right-of-way).

3. Driveway shall be concrete, pavers, a ribbon or permeable paving. A ribbon driveway is encouraged.

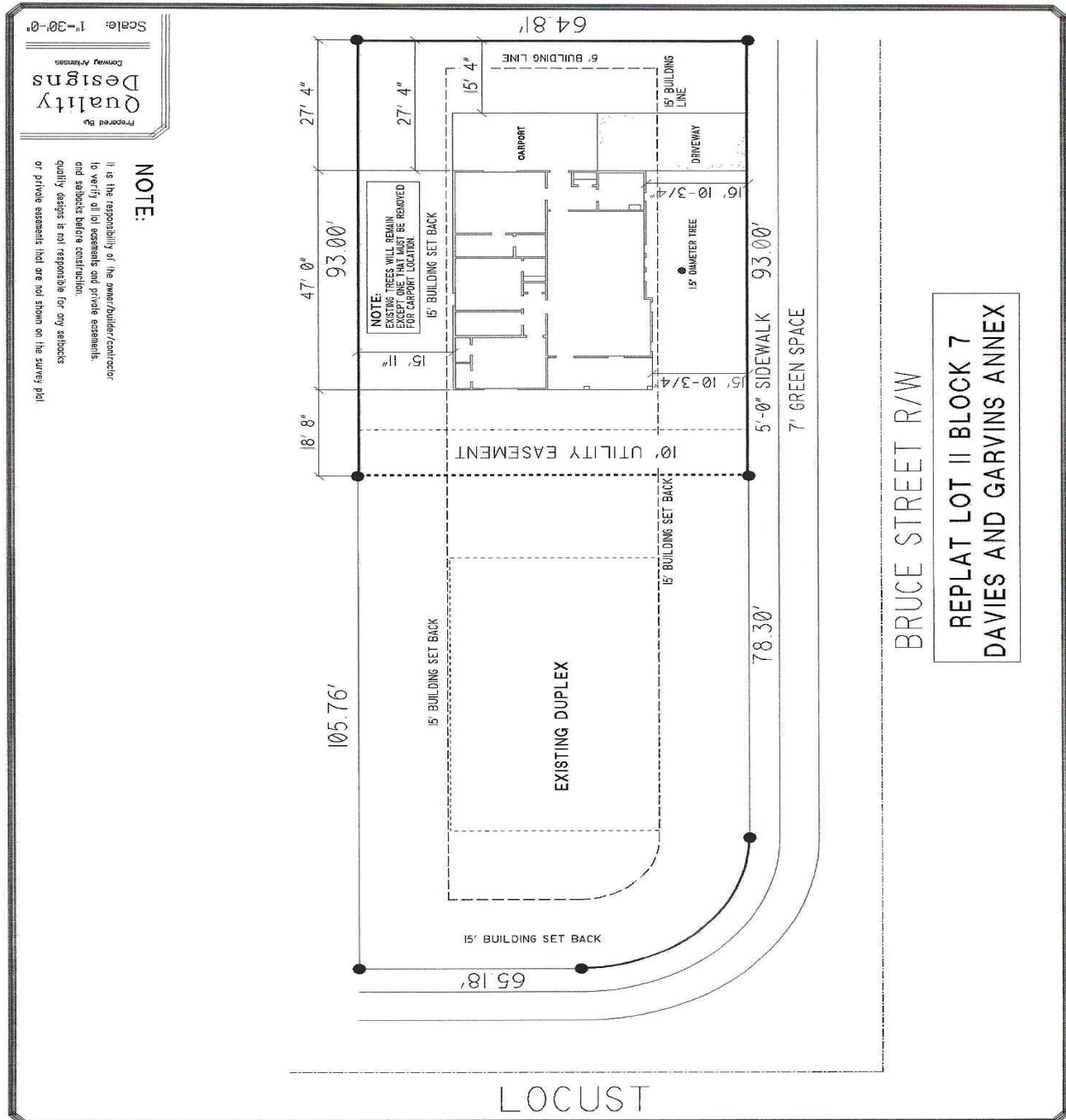
4. Prior to issuance of a Certificate of Occupancy, a 5' sidewalk with 7' greenspace shall be installed.

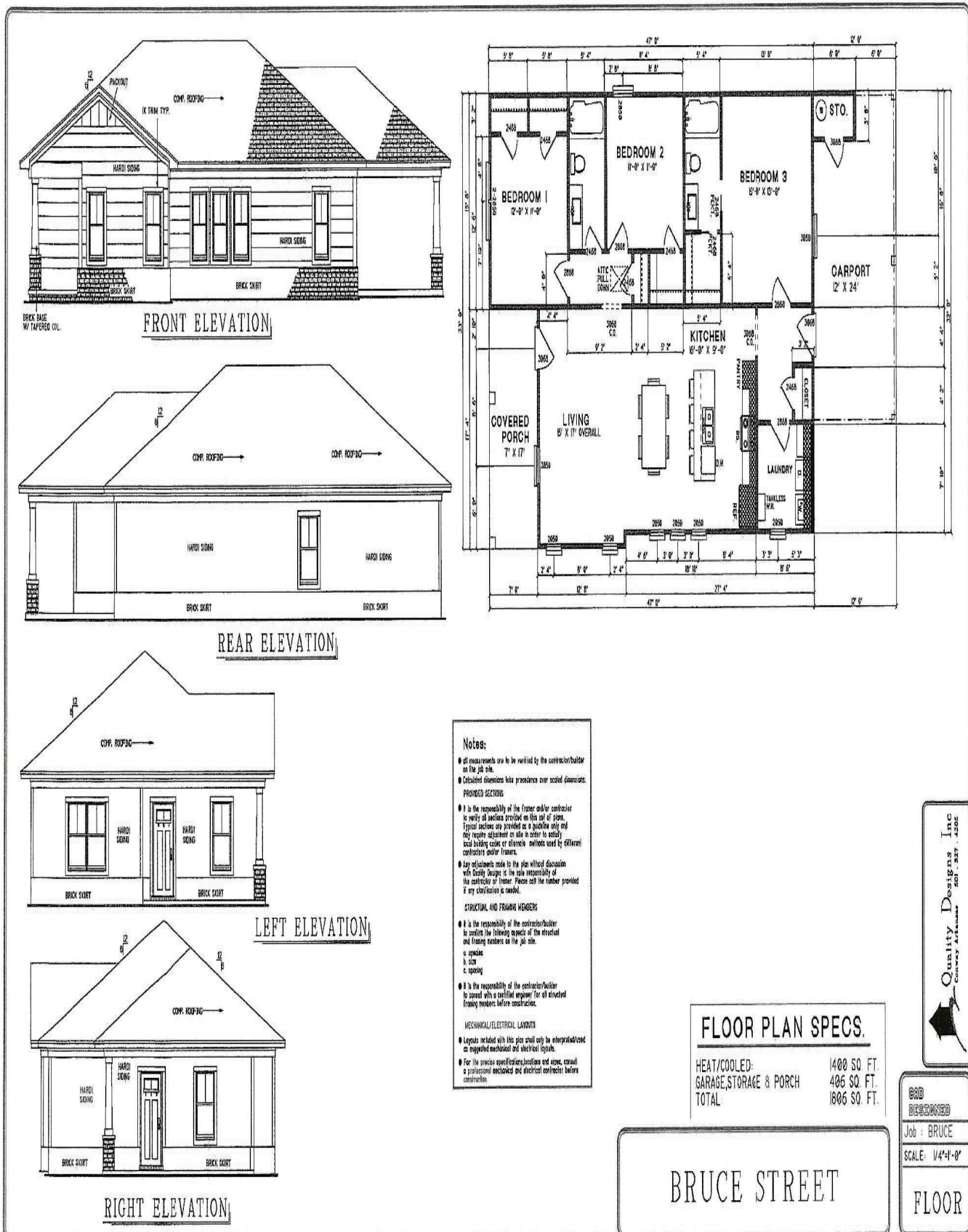
5. Lighting shall be downward and inward toward the property.

6. HVAC equipment shall be screened from public view.

7. Demolition of existing shed requires a demolition permit.

8. Prior to issuance of a Certificate of Appropriateness the applicant shall provide staff with Authorization of Agent from Claw Meier Holdings LLC.







View of subject property



Existing structure on subject property



Adjacent property to the E



Adjacent property to the W



Looking W down Bruce



Sidewalk network across Bruce St to the N

The following items, which do not require public hearings or Historic District Commission action, have been reviewed and approved by the Director of Planning & Development and are being reported to the Historic District Commission as required.

Item

- Outdoor seating and event space in the Commercial Mixed Use district of the Markham Street Plan at 1026 Front St (MSP-0525-0061).